



Metro West Joint Development Assessment Panel Agenda

Meeting Date and Time: 30 January 2020, 9:30 AM
Meeting Number: MWJDAP/256
Meeting Venue: City of Vincent
244 Vincent Street
Leederville

Attendance

DAP Members

Mr Jarrod Ross (A/Presiding Member)
Mr Clayton Higham (A/Deputy Presiding Member)
Mr John Syme (A/Specialist Member)
Cr Susan Gontaszewski (Local Government Member, City of Vincent)
Cr Josh Topelberg (Local Government Member, City of Vincent)

Officers in attendance

Mr Mitchell Hoad (City of Vincent)

Minute Secretary

Ms Kylie Tichelaar (City of Vincent)

Applicants and Submitters

Mr Daniel Lees (element)
Mr Tim Mack (FJM Property)
Mr Yong Lee (Hassell Studio)

Members of the Public / Media

Nil

1. Declaration of Opening

The A/Presiding Member declares the meeting open and acknowledges the traditional owners and pay respects to Elders past and present of the land on which the meeting is being held.

2. Apologies

Ms Francesca Lefante (Presiding Member)
Mr Jason Hick (Specialist Member)

3. Members on Leave of Absence

Nil



4. Noting of Minutes

Signed minutes of previous meetings are available on the [DAP website](#).

5. Declarations of Due Consideration

Any member who is not familiar with the substance of any report or other information provided for consideration at the DAP meeting must declare that fact before the meeting considers the matter.

6. Disclosure of Interests

Nil

7. Deputations and Presentations

- 7.1** Mr Dan Lee (element) presenting in support of the application at Item 9.1. The presentation will address the context for the proposed ground floor extension, the support for the proposal and request a change to the landscaping arrangement on the level 1 terrace and the associated Condition 8.1 (on-structure landscaping).
- 7.2** Mr Tim Mack (FJM Property) presenting in support of the application at Item 9.1. The presentation will address the proponent's vision for the project and the contributions it will make to the Leederville Town Centre.
- 7.3** Mr Yong Lee (Hassell Studio) presenting in support of the application at Item 9.1. The presentation will address Hassell's architectural intent for the project and design overview.

The City of Vincent may be provided with the opportunity to respond to questions of the panel, as invited by the A/Presiding Member.

8. Form 1 – Responsible Authority Reports – DAP Applications

Nil

9. Form 2 – Responsible Authority Reports – Amending or cancelling DAP development approval

- | | | |
|------------|--------------------------|---|
| 9.1 | Property Location: | No. 742 (Lot 30) Newcastle Street and No. 301 (Lot 8) Vincent Street, Leederville |
| | Development Description: | Seven Storey Commercial Development |
| | Proposed Amendment: | Amendment to Development Approval to Extend Ground Floor Showroom |
| | Applicant: | Element |
| | Owner: | Fabray Pty Ltd, Bantoy Pty Ltd, Yalaba Pty Ltd, Argyle Holdings Pty Ltd, Tegra Pty Ltd, Goldprize Investments Pty Ltd, Michael Fini |
| | Responsible Authority: | City of Vincent |
| | DAP File No: | DAP/19/01581 |



10. Appeals to the State Administrative Tribunal

| Current Applications | | |
|----------------------|--|---------------------------|
| LG Name | Property Location | Application Description |
| Town of Cambridge | Lot 2 (130) and Lot 3 (132) Brookdale Street, Floreat | Child Care Centre |
| Town of Claremont | Lots 18 (164) and 19 (162) Alfred Road, Swanbourne | Proposed Childcare Centre |

11. General Business / Meeting Closure

In accordance with Section 7.3 of the DAP Standing Orders 2017 only the A/Presiding Member may publicly comment on the operations or determinations of a DAP and other DAP members should not be approached to make comment.



Form 2 – Responsible Authority Report (Regulation 17)

| | |
|-----------------------------------|---|
| Property Location: | No. 742 (Lot 30) Newcastle Street and No. 301 (Lot 8) Vincent Street, Leederville |
| Development Description: | Seven Storey Commercial Development |
| Proposed Amendments: | Amendment to Development Approval to Extend Ground Floor Showroom |
| DAP Name: | Metro West JDAP |
| Applicant: | Element |
| Owner: | Fabray Pty Ltd, Bantoy Pty Ltd, Yalaba Pty Ltd, Argyle Holdings Pty Ltd, Tegra Pty Ltd, Goldprize Investments Pty Ltd, Michael Fini |
| Value of Amendment: | No change to original cost of development |
| LG Reference: | 5.2019.405.1 |
| Responsible Authority: | City of Vincent |
| Authorising Officer: | Jay Naidoo, Manager Development and Design |
| DAP File No: | DAP/19/01581 |
| Report Date: | 17 January 2020 |
| Application Received Date: | 4 November 2019 |
| Application Process Days: | 78 days |
| Attachment(s): | 1: Location Plan 2: Previous Determination Notice and Plans 3: Proposed Development Plans 4: Applicant Written Justification 5: Landscape DA Report 6: DRP Minutes 7: Previous Landscaping Plan Submitted with Form 1 Application |

Officer Recommendation:

That the Metro West JDAP resolves to:

1. **Accept** that the DAP Application reference DAP/19/01581 as detailed on the DAP Form 2 dated 1 November 2019 is appropriate for consideration in accordance with regulation 17 of the *Planning and Development (Development Assessment Panels) Regulations 2011*; and
2. **Approve** the DAP Application reference DAP/19/01581 as detailed on the DAP Form 2 dated 1 November 2019 and accompanying plans DA_01 to DA_07, DA_07.1, and DA_08 to DA_12 dated 13 January 2020 in accordance with Clause 77 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015* and the provisions of the City of Vincent Local Planning Scheme No. 2, for the proposed minor amendment to the approved Seven Storey Commercial Development at No. 742 Newcastle Street and No. 301 Vincent Street, Leederville, subject to the following:

Amended Conditions

1. Amend Condition 5.1 to read as follows:

5.1 A minimum of 161 car parking bays shall be provided on site.
2. Amend Condition 5.4 to read as follows:

5.4 A minimum of 198 bicycle parking spaces shall be provided on site. Bicycle parking spaces shall be designed in accordance with AS2890.3 and installed in accordance with the approved plans, to the satisfaction of the City.
3. Amend Condition 5.5 to read as follows:

5.5 Outside of the office operating hours of 8am to 5:30pm, 123 of the car parking bays shall be provided for public car parking.
4. Amend Condition 8.1 to read as follows:
8.1 A detailed landscape and reticulation plan for the development site and adjoining road verge. The plan is to be prepared generally in accordance with the Landscape DA Report dated 13 January 2020, and be to the satisfaction of the City. The plan shall be lodged with and approved by the City prior to commencement of the development.

The plan shall be drawn to a scale of 1:100 and show the following:

Details and Specifications

- The location and type of existing and proposed trees and plants;
- Areas to be irrigated or reticulated;
- The appropriate selection of tree species (consistent with the City's Tree Selection Tool) to be located within the planting areas to maximise the provision of canopy coverage;

Deep Soil Area Landscaping

- A minimum of 2.0 percent deep soil area as defined by the City's Policy No. 7.1.1 – Built Form;

On-Structure Landscaping

- The inclusion of a minimum of 597.8 square metres of on-structure landscaping across the first, fifth and sixth floors, and the southern façade of the development, in accordance with the approved plans;
- The inclusion of street furniture and seating opportunities within the first floor landscaping area abutting Vincent Street;

Verge Treatment

- The provision of low level landscaping and planting within the Vincent Street verge. This landscaped area shall maintain a minimum footpath width of 2.0 metres for the extent of the frontage of the development site;

- The provision of three trees within the verge of Vincent Street adjoining the development shall be provided, including the replacement of two existing verge trees. The tree species shall be Broad Leaved Paperbark ('Melaleuca Quinquenervia'), with a minimum size of 100 litres;

Other Landscaping

- No landscaping around the western boundary unless public access rights exist to the satisfaction of the City; and
- No landscaping around the southern boundary and appropriate paving and/or treatment of the 1.5 metre wide public access easement to the satisfaction of the City to provide for pedestrian and vehicle movement along the right of way.

5. Amend Condition 8.3 to read as follows:

8.3 With the exception of the removal and replacement of the two verge trees covered within this approval, no further verge trees shall be removed without the prior written approval of the City. Verge trees shall be retained and protected from damage including unauthorised pruning to the satisfaction of the City. Prior to any pruning of verge trees, an arborist report shall be prepared by the landowner and submitted to the City.

Deleted Conditions

1. Condition 9.3 is deleted.

Advice Notes

All other conditions and requirements detailed on the previous approval dated 19 August 2019 shall remain unless altered by this application.

Background:

| | | |
|---------------------|------|---|
| Zoning | MRS: | Urban |
| | TPS: | Regional Centre |
| Use Class: | | Bulky Goods Showroom, Car Park, Office, Restaurant/Café, Shop |
| Strategy Policy: | | N/A |
| Development Scheme: | | Local Planning Scheme No. 2 |
| Lot Size: | | No. 742 – 2,683 square metres No. 301 – 536 square metres |
| Existing Land Use: | | Bulky Goods Showroom, Office, Restaurant/Café and Shop |

Site Context

The subject site includes the northern portion of No. 742 Newcastle Street and No. 301 Vincent Street, Leederville, and is zoned Urban under the Metropolitan Region Scheme (MRS) with Vincent Street and a portion of the subject site reserved as Other Regional Road (ORR). Leederville is identified as being a Secondary Centre in accordance with the Western Australian Planning Commission's (WAPC) State Planning Policy 4.2 – Activity Centres for Perth and Peel (SPP 4.2). In accordance

with SPP 4.2, the City is currently preparing the Leederville Activity Centre Structure Plan which will guide future development within the locality. The City is currently preparing the draft structure plan for advertising following initial community engagement.

The subject site is zoned Regional Centre under the City's Local Planning Scheme No. 2 (LPS2), and is within the Town Centre built form area under the City's Policy No. 7.1.1 – Built Form (Built Form Policy). The subject site is affected by Clause 32(2) of LPS2, which does not permit Consulting Rooms, Dwellings (multiple), Medical Centre or Office uses to be provided on the ground floor or at grade level with the street. The subject site is also located within Precinct 5 – Entertainment Precinct 2 of the Leederville Town Centre Masterplan and Built Form Guidelines (Leederville Masterplan).

The subject site is bound by Vincent Street to the north and an existing 3 metre right of way (ROW) to the south. To the east is No. 299 Vincent Street, which consists of a two-storey commercial development, and to the west is single and two-storey developments at No. 140-144, 146-148 and 150-154 Oxford Street. No. 150-154 Oxford Street is listed on the City's municipal heritage inventory (MHI) as Management Category B. A location plan is included as **Attachment 1**.

Relevant Approvals

Development Approval

On 19 August 2019 the Metro West JDAP resolved to approve a development application for a seven storey Commercial Development on the subject site. Details of this application included:

- A 1,025.0 square metre 'selection centre' on the ground floor fronting Vincent Street, consistent with the definition of Bulky Goods Showroom under LPS2;
- Two Restaurant/Café or Shop tenancies on the ground floor fronting the ROW, with a floor space totalling 215.0 square metres;
- Office floor space totalling 7,820.0 square metres across the first to fifth floors to accommodate 750 ABN staff;
- Plant equipment located on the sixth floor;
- Vehicle access provided from Vincent Street with a total of 156 car parking bays provided across the ground to fifth floors, and 196 bicycle bays provided on the ground floor; and
- 5.9 percent deep soil area located along the Vincent Street frontage. Additional on-structure landscaping was provided in the form of green walls on the southern and western façade, and within planters around the western and southern side of the fifth floor.

A copy of this determination notice and development plans is included in **Attachment 2**.

A building permit was issued by the City on 19 November 2019 and the subject site is currently under construction.

Subdivision Application

Following the approval of the development application, the WAPC approved a subdivision application for the subject site on 6 September 2019. This approval subdivided the portion of No. 742 Newcastle Street the subject of the development approval from the parent property, and amalgamated this with the adjoining No. 301 Vincent Street to create a consolidated development site.

Condition 11 of the current development approval requires that the development site be amalgamated into a single lot on a Certificate of Title. At the time of the responsible authority report being submitted, the City and landowner have entered into a legal agreement to defer this amalgamation to be prior to the occupancy of the development in order to allow the building permit to be issued.

MRS Amendment

On 5 February 2019, Council resolved to request the WAPC to proceed with a Minor Amendment to the MRS to remove the ORR reservation from a number of properties along Vincent Street, including the subject site, and for this land to be zoned Urban.

The MRS amendment was initiated by the WAPC in September 2019, and on 11 December 2019 the WAPC endorsed the proposal, with the land to be transferred to the Urban zone under LPS2. The amendment was approved by the Minister for Transport and Planning on 19 December 2019 and was published in the Government Gazette on 24 December 2019.

Details

Details of the proposed amendments to the development approval issued by the Metro West JDAP on 19 August 2019 include:

- Extension of the ground floor to have a nil setback to Vincent Street from a 5.0 metre setback;
- Changes to on-site landscaping as follows:
 - Deep soil reduced from 5.9 percent (193.1 square metres) to 2.0 percent (65.9 square metres) to accommodate the nil setback to Vincent Street;
 - On-structure landscaping increased from a total of 323.4 square metres to 597.8 square metres. Additional landscaping has been provided along the terrace on the first floor and sixth floor. Landscaping has been reduced along the northern and western sides of the fifth floor;
 - The inclusion of 79.0 square metres of landscaping within the Vincent Street verge;
- Minor changes to the floor area of the building, including:
 - Increasing the Bulky Goods Showroom on the ground floor by 189.0 square metres;
 - Increasing the Restaurant/Café and Shop tenancies on the ground floor by 4.0 square metres; and
 - Reducing the Office across the first to fifth floor by 32.0 square metres;
- Minor realignment of the crossover to Vincent Street;
- Inclusion of an additional five car parking bays across the site, with one provided on the second floor and four provided on the fifth floor. The total number of car parking bays has increased from 156 to 161 bays; and

- Three of the on-site bicycles spaces to be used by visitors and/or customers have been relocated to be consolidated within the Vincent Street verge from around the western and southern boundaries in accordance with Condition 5.4 of the current development approval. There is no change to the total number of bicycle parking spaces proposed, being 198.

The proposed plans are included as **Attachment 3**. The applicant's supporting justification and amended traffic impact statement is included as **Attachment 4**. The accompanying landscaping report is included as **Attachment 5**.

Legislation and Policy:

Legislation

- *Planning and Development Act 2005*
- *Planning and Development (Local Planning Schemes) Regulations 2015*
- *Planning and Development (Development Assessment Panel) Regulations 2011*
- Metropolitan Region Scheme
- City of Vincent Local Planning Scheme No. 2

State Government Policies

- State Planning Policy 4.2 – Activity Centres for Perth and Peel
- Instrument of Delegation 2017/02 – Powers of Local Governments and Department of Transport
- Development Control Policy 5.1 – Regional Roads (Vehicular Access)
- Planning Bulletin 33 – Rights of Way or Laneways in Established Areas

Local Policies

- Leederville Town Centre Masterplan and Built Form Guidelines
- City of Vincent Policy No. 2.2.10 – Stormwater Drainage Connections
- City of Vincent Policy No. 4.1.5 – Community Consultation
- City of Vincent Policy No. 7.1.1 – Built Form
- City of Vincent Policy No. 7.5.13 – Percent for Public Art
- City of Vincent Policy No. 7.5.21 – Sound Attenuation
- City of Vincent Policy No. 7.5.23 – Construction Management Plans
- City of Vincent Policy No. 7.6.1 – Heritage Management-Development Guidelines for Heritage and Adjacent Properties
- City of Vincent Policy No. 7.7.1 – Non-Residential Development Parking Requirements

The objectives of the Regional Centre zone in accordance with Clause 16(1) of LPS2 are:

- *To provide a range of services and uses to cater for the local and regional community, including but not limited to specialty shopping, restaurants, cafes and entertainment;*
- *To provide a broad range of employment opportunities to encourage diversity and self-sufficiency within the Centre.*

- *To encourage high quality, pedestrian-friendly, street-orientated development that responds to and enhances the key elements of the Regional Centre, and to develop areas for public interaction.*
- *To ensure levels of activity, accessibility and diversity of uses and density is sufficient to sustain public transport and enable casual surveillance of public spaces.*
- *To provide residential opportunities within the Regional Centre including high density housing, affordable housing, social and special needs housing, tourist accommodation and short term accommodation.*
- *To ensure that the centres are developed with due consideration to State Planning Policy 4.2 - Activity Centres for Perth and Peel.*

The objectives of the Leederville Masterplan are to:

- *Encourage a sustainable density of development into the town centre, while retaining Leederville's unique character.*
- *Capitalise on the location of the Leederville train station and to ensure development is consistent with the principles of Transit Oriented Development (T.O.D.).*
- *Provide additional residential and commercial opportunities.*
- *Increase activation of street frontages.*
- *Encourage new opportunities for local employment.*
- *Enhance and maintain the opportunities for education and youth within the town centre.*
- *Improve the quality, safety and security of the public realm.*

Consultation:

Public Consultation

Community consultation was undertaken by the City for a period of 14 days in accordance with the *Planning and Development (Local Planning Schemes) Regulations 2015* from 22 November 2019 to 6 December 2019. The method of advertising included 27 letters being mailed to all adjoining owners and occupiers (as shown in **Attachment 1**) and a notice on the City's website in accordance with the City's Policy No. 4.1.5 – Community Consultation.

At the conclusion of the consultation period, a total of two submissions were received, both of which supported the proposal. One submission noted that the amendments would make a positive contribution to the area, while the second did not provide any supporting comments. The City's comments in respect to the acceptability of the modifications are discussed in further detail in the Officer Comment section.

Consultation with other Agencies or Consultants

Design Review Panel (DRP)

The proposal was presented to the DRP on 11 December 2019 to provide comment on the acceptability of the proposed amendments, including the extension of the ground floor to Vincent Street and the modifications to the landscaping. The minutes of this DRP meeting are included in **Attachment 6**, and the DRP comments are summarised as follows:

- The landscaping has been reduced each time the proposal has been presented to the DRP. Opportunities for this landscaping to be returned to the development need to be explored;
- The extension to the ground floor to have a nil setback to Vincent Street is supported with respect to the built form outcome; and
- Opportunities for weather protection on the ground and first floor to be incorporated would assist the functionality of the development and amenity of the occupants and pedestrians.

Following this DRP meeting the applicant submitted amended plans on 8 January 2020 to increase the amount of on-structure landscaping proposed. The amended plans were referred to the DRP Chair and landscape expert who provided the following comments:

- The inclusion of the additional landscaping is supported, but as per the minutes from the previous DRP meeting, there is still concern over the dilution of landscaping; and
- Landscaping plans should indicate the species used in the additional planters.

The applicant submitted further amended plans on 13 January 2020 which proposed an increase to the amount of on-structure landscaping. The changes from the original plans submitted with this development application include:

- Increasing the deep soil on the ground floor from 51.3 square metres to 65.9 square metres;
- The inclusion of 79.0 square metres of landscaping within the Vincent Street verge. The applicant has also proposed to remove and replace an existing verge tree which the City has identified as being in poor condition and to be ultimately replaced;
- Increasing the first floor on-structure landscaping from 38.8 square metres to 207.2 square metres;
- Increasing the fifth floor on-structure landscaping from 115.9 square metres to 176.1 square metres;
- Introducing 106.8 square metres of on-structure landscaping around the southern and western perimeter of the sixth floor; and
- Reinstating the 106.8 square metres of planting on the southern façade of the building that was indicated on the approved plans. This had been previously reduced to 54.6 square metres.

These are the final set of plans that the applicant is seeking approval for. These plans were referred to a DRP landscape expertise who advised that the inclusion of the additional landscaping had resolved the concerns regarding its dilution.

The below table demonstrates how the proposal has progressed through the DRP process in accordance with the Ten Principles of Good Design:

| | |
|--|---|
| | <i>Supported</i> |
| | <i>Pending further attention</i> |
| | <i>Not supported</i> |
| | <i>No comment provided / not applicable</i> |

| | <i>DRP 1 11/12/2019</i> | <i>DRP Chair Referral 1</i> | <i>DRP Member Referral 2</i> |
|--|-----------------------------|---------------------------------|----------------------------------|
| Principle 1 – Context & Character | | | |
| Principle 2 – Landscape Quality | | | |
| Principle 3 – Built Form and Scale | | | |
| Principle 4 – Functionality & Built Quality | | | |
| Principle 5 – Sustainability | | | |
| Principle 6 – Amenity | | | |
| Principle 7 – Legibility | | | |
| Principle 8 – Safety | | | |
| Principle 9 – Community | | | |
| Principle 10 – Aesthetics | | | |

The acceptability of the landscaping and weather protection items raised by the DRP are discussed in the Officer Comment section.

Department of Planning, Lands and Heritage (DPLH)

As the application proposed development on land affected by an ORR reservation, it was referred to the DPLH in accordance with the requirements of the Instrument of Delegation 2017/02.

In its correspondence dated 19 December 2019, the DPLH advised that the Minister for Transport and Planning had approved the MRS amendment to transfer the portion of the ORR reservation affecting the subject site to the Urban zone, and it had no objection to the development proposal.

Planning Assessment:

Requirements applicable to the development under the planning framework are contained within the Leederville Masterplan and the City's local planning policies, including the Built Form Policy. The Leederville Masterplan prevails over the Built Form Policy where there is any inconsistency, as outlined in the Built Form Policy.

The table below summarises the assessment of the plans against these requirements. In each instance where the proposal requires a discretionary assessment, the relevant planning element is set out in the Detailed Assessment section following from this table and discussed in the Officer Comments section of the report.

| Planning Element | Use Permissibility / Deemed-to- Comply | Previously Approved | Further Discretion Required |
|--|---|--------------------------------|--|
| Land Use | | ✓ | |
| Building Height/Storeys | | ✓ | |
| Street Setback | ✓ | | |
| Lot Boundary Setbacks | | ✓ | |
| Ground Floor Design | | ✓ | |
| Awnings, Verandahs and Collonades | | | ✓ |
| Landscaping | | | ✓ |

| Planning Element | Use Permissibility / Deemed-to- Comply | Previously Approved | Further Discretion Required |
|--|---|------------------------|-----------------------------------|
| Pedestrian Access | | ✓ | |
| Vehicle Access | | ✓ | |
| Car and Bicycle Parking | | ✓ | |
| Environmentally Sustainable Design | | ✓ | |
| Service Areas and External Fixtures | | ✓ | |

Detailed Assessment

| Awnings, Verandahs and Collonades | |
|--|--|
| Deemed-to-Comply Standard | Proposal |
| Built Form Policy Clause 1.5 and Leederville Masterplan Clause 8 Continuous awning or alternative pedestrian protection along the full length of the building to the primary street. | No pedestrian awning proposed. |
| Landscaping | |
| Deemed-to-Comply Standard | Proposal |
| Built Form Policy Clause 1.7 15.0 percent deep soil zone and 80.0 percent side or rear setback provided as canopy coverage at maturity (based on the total site areas of the development site at No. 742 Newcastle Street and No. 301 Vincent Street). | The development proposes 2.0 percent deep soil area and the rear setback of the ground floor does not provide any canopy coverage. |

Officer Comments

Awnings, Verandahs and Collonades

The subject application proposes to extend the ground floor to have a nil setback to Vincent Street and does not propose a pedestrian awning. The Built Form Policy and Leederville Masterplan requires a continuous pedestrian awning to be provided to the primary street.

The development was approved with a 5.0 metre setback to Vincent Street, and included an awning along the street frontage which was 1.8 metres wide and 3.9 metre high. The awning was contained within the lot boundary and did not overhang the adjacent footpath.

The City did not receive any submissions relating to the lack of a pedestrian awning.

The applicant's justification for not providing a pedestrian awning is summarised as follows:

- The verge tree canopies have been surveyed which shows that these variously extend up to and beyond the site boundary, making it impractical to provide an awning over the footpath. This would require the pruning of the street trees to be accommodated which is not a desirable outcome for mature trees. The mature trees already successfully provide shade cover to the footpath; and
- Vincent Street (east of Oxford Street) is characterised by verge street tree planting which makes the provision of an awning overhanging the footpath impractical, in contrast to the centrally planted street trees along Oxford Street which facilitated a continuous awning.

The proposal is consistent with the design principles of the Built Form Policy and the Leederville Masterplan for the following reasons:

- The southern side of Vincent Street includes four properties with pedestrian awnings. Two of these properties (Nos. 269 and No. 285 Vincent Street) each have a pedestrian awning, however these are confined to the lot boundary and do not extend over the adjoining footpath. The other two properties (No. 150-154 Oxford Street and No. 297 Vincent Street) both incorporate pedestrian awnings which extend over the footpath, however do not have any existing street trees in front of the property;
- Excluding the street tree in front of the approved crossover that has been approved to be removed and replaced, there are four existing verge trees adjoining the subject site, spaced between approximately 8.0 metres and 17.0 metres apart. Of these, three of the tree canopies extend up to or beyond the lot boundary of the subject site, while the fourth and westernmost tree has been pruned and does not. In addition to these existing street trees, Condition 8.1 of the development approval requires the applicant to install two additional trees of the same Paperbark species within the verge, and the applicant has proposed to replace an existing street tree which is currently in poor condition. The addition of these trees will ultimately result in a canopy which would spread to overhang and cover the footpath abutting the development;
- The City's Parks team have advised that the installation of an awning would require the pruning of the existing street trees. The extent of pruning that would be required to accommodate the awning structure would not be supported as this could cause damage to the trees; and
- It is recognised that within the town centre an awning is commonplace to provide pedestrian comfort and weather protection. There is sufficient continuous tree canopy within the Vincent Street verge to provide weather protection and create a comfortable pedestrian environment. Given the constraints of the existing canopy, the provision of an awning within the gaps of the tree canopy would not seem to be practical to fulfil either of these functions.

Should the application be approved, the City recommends that Condition 9.3 be deleted as the provision of a pedestrian awning is no longer required.

Landscaping

The subject application proposes 2.0 percent (65.9 square metres) of deep soil area and nil canopy coverage to the rear setback. The Built Form Policy requires 15 percent of deep soil zones area and 80 percent of the rear setback to be provided as canopy coverage.

The development also proposes the modification of on-structure landscaping. A comparison of the approved and proposed landscaping based on the submitted landscaping plan included as part of **Attachment 5** is outlined below. A copy of the landscaping plan which accompanied the Form 1 application is included as **Attachment 7** for reference:

| Deep Soil | Approved Development | Proposed Development | Difference |
|---------------------|-----------------------------------|----------------------------------|----------------------|
| Ground Floor | 193.1 square metres (5.9 percent) | 65.9 square metres (2.0 percent) | -127.2 square metres |

| Non-Deep Soil Landscaping / On-Structure Landscaping | Approved Development | Proposed Development | Difference |
|---|---|---|----------------------|
| Ground Floor | Not provided. Planting around southern and western boundary excluded by Condition 8.1. | No additional landscaping non-deep soil landscaping | Nil |
| First Floor | Nil | 207.2 square metres | +207.2 square metres |
| Fifth Floor | 216.6 square metres | 176.1 square metres | -40.5 square metres |
| Sixth Floor | Nil | 107.7 square metres | +107.7 square metres |
| Southern Façade | 106.8 square metres | 106.8 square metres | No change |
| Total | 323.4 square metres | 597.8 square metres | +274.4 square metres |

In addition to the above changes, the development also proposes 79.0 square metres of landscaping within the Vincent Street verge, consisting of low level planting. The applicant has also proposed to replace an existing verge tree which is in poor condition.

The City did not receive any submissions relating to the reduced landscaping proposed.

The applicant's justification for the modifications to the landscaping is summarised as follows:

- Additional landscaping is incorporated within the verge, achieving a balance between the built edge being provided to the street which is appropriate for the town centre environment, and the provision of landscaping providing a tangible benefit to the public. The proponent is proposing to remove and replace an existing verge tree which is in poor health, adding to the two additional trees to be provided as per the previous condition;
- Additional landscaping is provided on the first floor roof terrace which provides a positive amenity to the public realm and offering an enjoyable space for occupants;

- Further consideration has been given to the fifth floor during the detailed design, in respect to the accessibility of the roof space and maintenance requirements. In terms of building management the need to install anchor points along the edge of the building to enable safe cleaning and maintenance of the facades has also been factored in;
- An increased public art contribution over and above the previously conditioned one percent of the total cost of the development is being considered to extend around the southern and western façade. The artwork is proposed to be lighting-based and would be visible through the 24 hour period, as opposed to landscaping which is only visible during the daylight hours. This would provide greater amenity for the public than pure landscaping and would benefit the immediate locality;
- The applicant has advised that the on-structure landscaping indicated on the building can be delivered whilst ensuring compliance with other legislation;
- In response to the local housing objectives of the Built Form Policy:
 - The revised proposal incorporates articulation through the ground floor extension, with landscaping being only one of the matters considered by the City in supporting the building height variation;
 - The nil setback reinforces the character of Vincent Street with landscaping being achieved to the east of the extension, resulting in an improved streetscape through the verge landscaping now proposed; and
 - The provision of additional street trees and the verge and first floor landscaping will be more readily appreciable by pedestrians and contribute towards to the City's green canopy.

The proposal is consistent with the design principles of the Built Form Policy and Leederville Masterplan for the following reasons:

Verge Treatment

- The proposed verge treatment which includes low level planting and the replacement of an existing verge tree in poor condition is supported by the City's Parks team. While this landscaping is outside of the development site, it contributes towards increased pedestrian amenity. The amenity created by this proposed verge treatment in the current application is assisted by the planting of two additional trees within the verge as required by Condition 8.1 of the previous development approval;
- The verge planting has a width of 2.3 metres, which would reduce the width of the footpath for this section to 1.5 metres. While this meets the City's minimum requirements in regards to footpath width (being a minimum of 1.5 metres), given the high number of pedestrians likely to use the path as a result of the development, the City's Engineers have advised it would be preferable to provide a minimum footpath width of 2.0 metres. This would provide adequate room for pedestrians to pass comfortably at busy periods, and reduce the likelihood of this landscaping being damaged by pedestrians. Should the application be approved, a condition is recommended for the verge landscaping width to be reduced to 1.8 metres to maintain a minimum footpath width of 2.0 metres;
- The approved condition currently requires the planting of verge trees with a minimum size of 100 litres and of the same maturity of the existing trees. Following further review, there are concerns with the practicalities in achieving this. This is because the particular species of Paperbark tree does not transplant well, however to satisfy the current condition the transplanting of a mature tree

from off site would be required. The City's Parks team has advised that the minimum size of 100 litres is sufficient. The City recommends the wording of this condition be revised accordingly in order to ensure the requirements of the condition are clear and achievable;

Deep Soil and On-Structure Landscaping

- The deep soil area that was provided through the approved development application was located within the front setback area. This is now being reduced to accommodate the ground floor extension. The proposed nil setback of the ground floor to Vincent Street is consistent with the requirements of the Leederville Masterplans and presents an active and defined urban edge. Although this results in a reduction in deep soil area, the on-structure planting on the first floor terrace is of the same width (5.0 metres) and provides approximately 207.2 square metres of planting space with a depth of 0.6 metres. The City's Parks team has confirmed that this would provide sufficient depth to support planting to contribute towards canopy coverage, with this being assisted by the appropriate selection of species. This in conjunction with approximately 65.9 square metres of deep soil on the ground floor contributes towards offsetting the reduced area of deep soil compared to the original approval and provides the opportunity for planting of appropriate tree species which can reach maturity and maximise canopy coverage across the site. The planting of appropriate tree species would contribute towards the City's green canopy and reduce the impact of the development from the public realm. It is noted that the landscaping on the first floor provides an opportunity for informal seating to be provided which would improve the amenity of the occupants. It is recommended that a condition to this effect be included should the application be approved;
- The on-structure landscaping has been increased by approximately 274.4 square metres from what was originally approved by incorporating additional planting areas. The landscaping provided to the first floor, in addition to the deep soil area on the ground floor and verge treatment contributes towards landscaping amenity for the occupants and general public when viewed from Vincent Street. The landscaping provided around the perimeter of the fifth floor and southern façade contributes towards softening the appearance of the development as viewed from the public realm and adjoining properties. The inclusion of the additional landscaping around the perimeter of the sixth floor further contributes towards softening the appearance of the development and providing amenity to the public realm;
- It is noted that the canopy coverage could be further increased through the selection of appropriate tree species. It is recommended to retain the condition of approval requiring a landscaping plan to be submitted in order to ensure that the development maximises its canopy coverage, makes a contribution towards the provision of a green canopy within the City and reduces the impact of the urban heat island effect; and
- For clarification, the planting around the western side that includes on-ground and on-structure were supported and approved, subject to the applicant reaching an access agreement with the adjoining property to allow for maintenance. Without this agreement, the plantings would not be accessible and the landscaping would not survive. This is reflected in the wording of Condition 8.1 of the current development approval which states *"no landscaping around the western boundary unless public access rights exist to the satisfaction of the City."* If this agreement were to be obtained it would be possible for some

landscaping to be incorporated around the western side, further increasing the landscaping contribution of the development.

Should the application be approved, the City recommends that Condition 8.1 be updated to reflect the proposed deep soil, verge and on-structure landscaping proposed. Condition 8.3 is also recommended to be updated to reflect the replacement of a second verge tree.

In response to the applicant's proposal to make an additional public art contribution, while the City acknowledges this would contribute broadly towards the amenity of the town centre. As outlined above, the City is satisfied that the landscaping proposed is consistent with the objectives of the Built Form Policy and makes a positive contribution towards the public realm.

Car Parking

The subject application proposes to increase the number of on-site parking bays from 156 to 161. Of these additional five parking bays, the one located on the third floor would be made available for use by the public after hours, while the four bays on the fifth floor would not be accessible after hours. The development also proposes to increase the floor areas of the Bulky Goods Showroom by 189.0 square metres and Restaurant/Café and Shop tenancies by 4.0 square metres, and decrease the Office floorspace by 32.0 square metres.

The development was approved with a total of 156 parking bays on-site. The parking requirement was calculated on a worst-case scenario where both rear tenancies operated as a Restaurant/Café use, which would require 168 parking bays and result in a shortfall of 12 bays. By comparison, if both tenancies operated as a Shop Use, 140 car parking bays would be required which would result in a surplus of 16 parking bays.

As a result of these modifications, there is no increased parking requirement which remains at:

- 168 bays if both tenancies operated as Restaurant/Café, with the shortfall now reduced to seven bays from 12 bays; and
- 140 bays if both tenancies operated as Shop, with the surplus now increased to 21 bays from 16 bays.

The City did not receive any submissions relating to the modifications to the car parking. Given the application results in a lesser parking requirement compared to the approved development, the City supports the proposed car parking modifications.

Should the application be approved, the City recommends that Conditions 5.1 and 5.5 be amended to reflect the additional parking bays proposed. It is noted that Condition 6.1 currently requires a revised Parking Management Plan to be submitted to *"reflect the approved number of on-site car parking bays, bicycle spaces and motorcycle/scooter bays"*. This condition would continue to apply to the development and is not required to be modified.

It is also noted that the approved development included 198 bicycle parking spaces, and Condition 5.4 required the provision of 196. This was an administrative error and should the application be approved, the City recommends that this condition be

amended to reflect the 198 bicycle parking spaces previously approved and that remains currently proposed.

Options/Alternatives:

N/A

Council Recommendation:

N/A

Conclusion:

A seven storey commercial development was approved by the Metro West JDAP on 19 August 2019. The applicant has proposed amendments to this approval, including the extension of the ground floor to have a nil setback to Vincent Street, removal of the pedestrian awning, modifications to landscaping, minor alterations to the approved floor areas and the inclusion of additional car parking.

The modifications have been assessed against the Built Form Policy and is consistent with the design principles of the Built Form Policy as outlined above. The City recommends that the application be approved, with conditions being modified as necessary to reflect the proposed development.



CITY OF VINCENT

ATTACHMENT 1

DEVELOPMENT ASSESSMENT PANEL MEETING

Location and Consultation Plan

**CITY OF VINCENT
LOCAL PLANNING SCHEME NO. 2
SCHEME MAP 1 - LEEDERVILLE**

LEGEND

METROPOLITAN REGION SCHEME RESERVES

Note: The Western Australian Planning Commission acts on the behalf of the Department of Planning and should be consulted for full information on the actual land requirements for all Metropolitan Region Scheme Reserves.

- PARKS AND RECREATION**
- R** Restricted Public Access
- PRIMARY REGIONAL ROADS RESERVATION**
- OTHER REGIONAL ROADS RESERVATION**
- RAILWAYS**
- PUBLIC PURPOSES**
Particular use denoted as follows:
- H** Hospital
- HS** High School
- TS** Technical School
- CP** Car Park
- U** University
- CG** Commonwealth Government
- SU** Special Use
- WSD** Water Authority of Western Australia
- P** Prison

CITY OF VINCENT LOCAL SCHEME RESERVES

- PUBLIC OPEN SPACE**
- R** Restricted
- PUBLIC PURPOSES**
Particular use denoted as follows:
- PS** Primary School
- CP** Car Park
- CU** Civic Uses
- HS** High School
- I** Institute for the Deaf
- W** Water Supply Sewerage and Drainage
- TS** Technical School

CITY OF VINCENT SCHEME ZONES

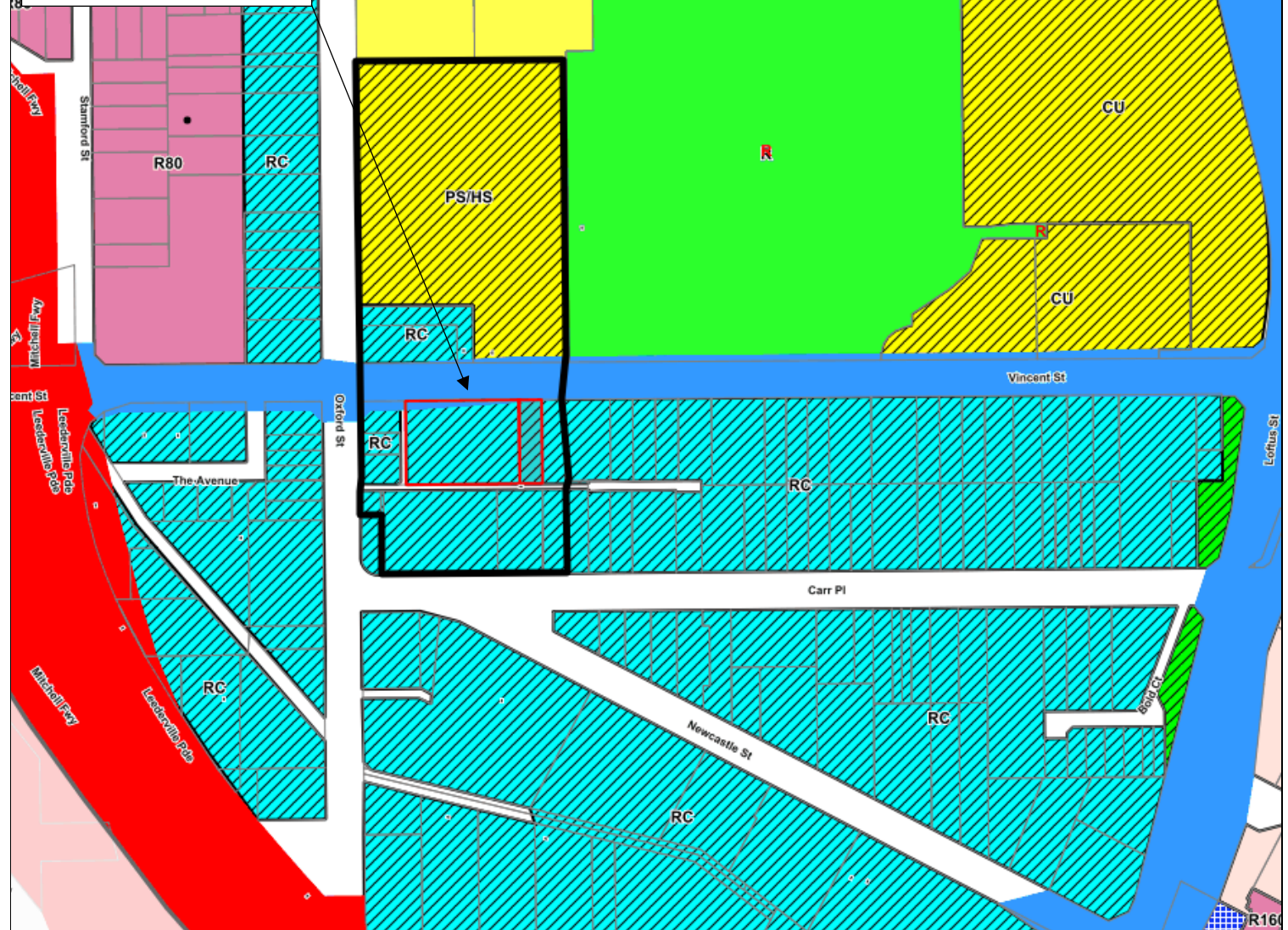
- RESIDENTIAL**
- MIXED USE**
- COMMERCIAL**
- LOCAL CENTRE**
- DISTRICT CENTRE**
- REGIONAL CENTRE**
- SPECIAL USE**
Particular use denoted as follows:
- CP** Car Park
- CU** Community Use
- FC** Function Centre
- HC** Hall and Non Residential Club
- H** Hotel
- PW** Place of Worship
- S** Service Station

ADDITIONAL USE

ADDITIONAL INFORMATION & RESIDENTIAL PLANNING CODES

- CODE AREA BOUNDARY**
- SCHEME AREA BOUNDARY**
- DENSITY CODE**

SUBJECT SITES



CITY OF VINCENT

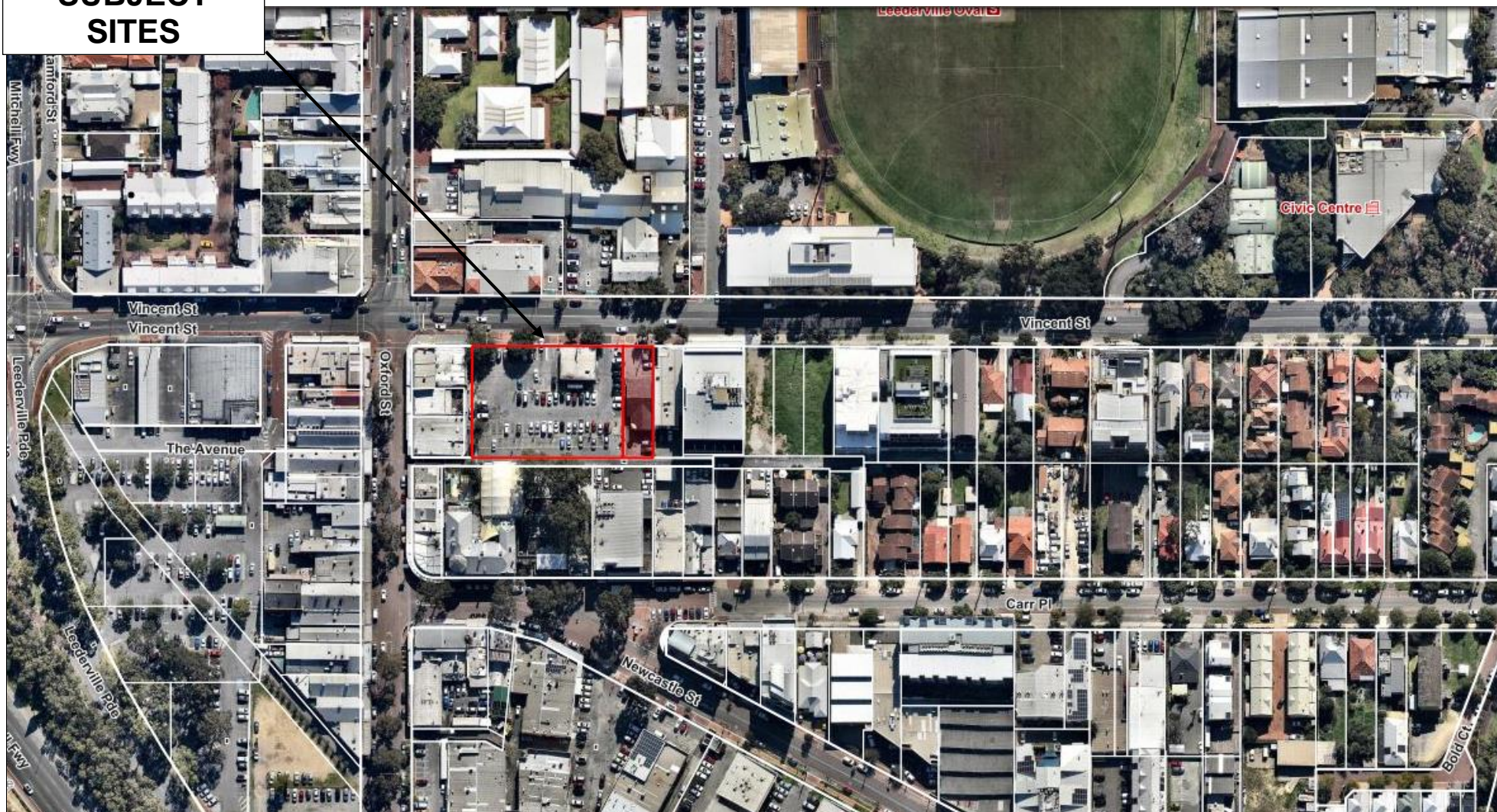
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Consultation and Location Map
No. 742 Newcastle Street and No.
301 Vincent Street, Leederville

Extent of Consultation



SUBJECT SITES



CITY OF VINCENT

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No. 742 Newcastle Street and No.
301 Vincent Street, Leederville





CITY OF VINCENT

ATTACHMENT 2

DEVELOPMENT ASSESSMENT PANEL MEETING

Previous Determination Notice and Plans (19 August 2019)



LG Ref: 5.2019.61.1
DAP Ref: DAP/19/01581
Enquiries: (08) 6551 9919

Mr Daniel Lees
element
PO Box 7375
Cloisters Square WA 6850

Dear Mr Lees

METRO WEST JDAP - CITY OF VINCENT - DAP APPLICATION - 5.2019.61.1 - DETERMINATION

| | |
|----------------------|---|
| Property Location: | Lot 30 (742) Newcastle Street and Lot 8 (301) Vincent Street, Leederville |
| Application Details: | Seven Storey Commercial Development |

Thank you for your Form 1 Development Assessment Panel (DAP) application and plans submitted to the City of Vincent on 22 February 2019 for the above-mentioned development.

This application was considered by the Metro West JDAP at its meeting held on 19 August 2019, where in accordance with the provisions of the City of Vincent Local Planning Scheme No. 2, it was resolved to **approve** the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, an application may be made to amend or cancel this planning approval in accordance with regulation 17 and 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011*.

Please also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. Such an application must be made within 28 days of the determination, in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any queries with respect to the conditions of approval, please contact Mr Mitchell Hoad on behalf of the City of Vincent on 9273 6049.

Yours sincerely,

DAP Secretariat

20 August 2019

Encl. DAP Determination Notice
Approved Plans

Cc: Mr Mitchell Hoad
City of Vincent



Planning and Development Act 2005

City of Vincent Local Planning Scheme No. 2

Metro West Joint Development Assessment Panel

**Determination on Development Assessment Panel
Application for Planning Approval**

Property Location: Lot 30 (742) Newcastle Street & Lot 8 (301) Vincent Street,
Leederville

Application Details: Seven Storey Commercial Development

In accordance with regulation 8 of the *Planning and Development (Development Assessment Panels) Regulations 2011*, the above application for planning approval was **granted** on 19 August 2019, subject to the following:

1. **Approve** DAP Application reference DAP/19/01581 and accompanying plans included in **Attachment 2** in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, and the provisions of the City of Vincent Local Planning Scheme No. 2, and pursuant to Clause 24(1) and 26 of the Metropolitan Region Scheme, subject to the following conditions as follows:

Conditions:

1. Use of Premises

- 1.1 The use of the tenancy on the ground floor indicated as 'showroom' on the approved plans shall only be in accordance with the respective definitions of 'Bulky Goods Showroom', as set out in the City of Vincent Local Planning Scheme No. 2:

Bulky goods showroom means premises –

a) *used to sell by retail any of the goods and accessories of the following type that are principally used for domestic purposes –*

- i. *automotive parts and accessories;*
- ii. *camping, outdoor and recreation goods;*
- iii. *electric light fittings;*
- iv. *animal supplies including equestrian and pet goods;*
- v. *floor and window coverings;*
- vi. *furniture, bedding, furnishings, fabrics, manchester and homewares;*
- vii. *household appliances, electrical goods and home entertainment goods;*
- viii. *party supplies;*
- ix. *office equipment and supplies;*
- x. *babies' and children's goods, including play equipment and accessories;*
- xi. *sporting, cycling, leisure, fitness goods and accessories;*
- xii. *swimming pools;*



and

b) *used to sell goods and accessories by retail if –*

- i. *a large area is required for the handling, display or storage of the goods; or*
- ii. *vehicular access is required to the premises for the purpose of collection of purchased goods.*

- 1.2 The use of the tenancies on the ground floor indicated as 'café/retail' on the approved plans shall only be in accordance with the respective definitions of 'Restaurant/Café' and/or 'Shop', as set out in the City of Vincent Local Planning Scheme No. 2:

Restaurant / Café means premises primarily used for the preparation, sale and serving of food and drinks for consumption on the premises by customers for whom seating is provided, including premises that are licensed under the Liquor Control Act 1988.

Shop means premises other than a bulky goods showroom, a liquor store – large or a liquor store – small used to sell goods by retail, to hire goods, or to provide services of a personal nature, including hairdressing or beauty therapy services.

- 1.3 The use of the area indicated as 'office' on the first, second, third, fourth and fifth floor on the approved plans shall only be in accordance with the definitions of 'Office', as set out in the City of Vincent Local Planning Scheme No. 2:

Office means premises used for administration, clerical, technical, professional or similar business activities.

- 1.4 The use of the car park shall be incidental to all other uses on site during business hours (6:00am to 5:30pm) and outside of business hours shall accord with the definitions of 'Car Park', as set out in the City of Vincent Local Planning Scheme No. 2:

Car Park means premises used primarily for parking of vehicles whether open to the public or not but does not include –

- a) *any part of a public road used for parking or for a taxi rank; or*
- b) *any premises in which cars are displayed for sale.*

- 1.5 A maximum of 235 patrons are permitted within the Restaurant/Café at any one time.

2. Boundary Walls

- 2.1 The owners of the subject land shall finish and maintain the surface of the boundary (parapet) walls in a good and clean condition prior to occupation or use of the development. The finish of the walls are to be fully rendered or face brickwork to the satisfaction of the City.



- 2.2 Prior to the commencement of development, a schedule of materials and colours for the boundary walls on the eastern boundary shall be submitted to and approved by the City. The approved finish of the boundary wall shall then be applied prior to the use or occupation of the development.

3. External Fixtures

All external fixtures and building plant, including air conditioning units, piping, ducting and water tanks, shall be located so as to minimise any visual and noise impact on surrounding landowners, and be screened from view from the street and surrounding properties to the satisfaction of the City.

4. Right of Way Widening

Prior to the occupation or use of the development, a public access easement in favour of the City shall be provided over the full length of the rear boundary of the subject site for a width of 1.5 metres, and limited in height between the finished ground level and underside of the building above, in accordance with Sections 195 and 196 of the *Land Administration Act 1997*. Any costs associated with the preparation and registration of the easement, including any costs associated with the City's review of the easement, shall be the responsibility of the applicant/landowner.

5. Car Parking, Access and Bicycle Facilities

- 5.1 A minimum of 156 car parking bays shall be provided on site.
- 5.2 Vehicle and pedestrian access points are required to match into existing footpath levels.
- 5.3 The car parking and access areas shall be sealed, drained, paved and line marked in accordance with the approved plans and are to comply with the requirements of AS2890.1 prior to the occupation or use of the development.
- 5.4 A minimum of 196 bicycle parking spaces shall be provided on site. Bicycle parking spaces shall be designed in accordance with AS2890.3 and installed in accordance with the approved plans, to the satisfaction of the City, with the exception of the visitor bike rack provided along the western side. This bike rack shall be relocated to a suitable location to the satisfaction of the City.
- 5.5 Outside of the office operating hours of 6:00am to 5:30pm, 122 of the car parking bays shall be provided for public car parking.

6. Parking Management Plan

- 6.1 Prior to occupation or use of the development, a revised Parking Management Plan to the satisfaction of the City shall be submitted to and approved by the City. The revised Parking Management Plan shall be updated to:
- Reflect the approved number of on-site parking bays, bicycle spaces and motorcycle/scooter bays; and



- Identify the staff parking location for staff of the Leederville Hotel.

6.2 The approved Parking Management Plan shall be implemented and the development carried out in accordance with the approved Parking Management Plan and approved plans to the satisfaction of the City.

7. Stormwater

7.1 Prior to the issuing of a building permit, a geotechnical report prepared by a qualified consultant shall be submitted to and approved by the City. This report is to demonstrate if on-site retention of stormwater is possible, or if connection to the City's drainage system is required.

7.2 Thereafter, all stormwater produced on the subject land shall be retained on site, or connected to the City's drainage system at the expense of the applicant/landowner, in accordance with the recommendations of the approved geotechnical report, to the satisfaction of the City.

8. Landscape and Reticulation Plan

8.1 A detailed landscape and reticulation plan for the development site and adjoining road verge, to the satisfaction of the City, shall be lodged with and approved by the City prior to commencement of the development. The plan shall be drawn to a scale of 1:100 and show the following:

- The location and type of existing and proposed trees and plants;
- A minimum of 5.9 percent deep soil area as defined by the City's Policy No. 7.1.1 – Built Form;
- No landscaping around the western boundary unless public access rights exist to the satisfaction of the City
- No landscaping around the southern boundary and appropriate paving and or treatment of the 1.5 metre wide public access easement to the satisfaction of the City to provide for pedestrian and vehicle movement along the right of way;
- Provision of two trees within the verge of Vincent Street adjoining development shall be provided. The tree species shall be Broad Leaved Paperbark ('Melaleuca Quinquenervia'), with a minimum size of 100 litres of the same level of maturity as the existing verge trees;
- Areas to be irrigated or reticulated;
- The appropriate selection of tree species (consistent with the City's Tree Selection Tool) to be located within the planting areas to maximise the provision of canopy coverage; and
- The inclusion of street furniture and seating opportunities within the ground floor landscaping area abutting Vincent Street, including around the building entrance and the western edge.

8.2 All works shown in the plans as identified in the condition above shall be undertaken in accordance with the approved plans to the City's satisfaction, prior to occupation or use of the development and shall be maintained thereafter to the satisfaction of the City at the expense of the owners/occupiers.



- 8.3 With the exception of the removal of one verge tree covered within this approval, no further verge trees shall be removed without the prior written approval of the City. Verge trees shall be retained and protected from damage including unauthorised pruning to the satisfaction of the City. Prior to any pruning of verge trees, an arborist report shall be prepared by the landowner and submitted to the City.

9. Building Design

- 9.1 Windows and doors of the ground floor tenancies shall be designed to open in to the development site, and not the public realm, including the 1.5 metre wide public access easement required along the southern boundary. Windows and doors shall provide an active and interactive relationship to the street and right of way to the satisfaction of the City and shall be maintained thereafter to the satisfaction of the City.
- 9.2 Ground floor glazing and/or tinting shall be a minimum of 70 percent visually permeable to provide unobscured visibility. Darkened, obscured, mirrored or tinted glass or other similar materials as considered by the City is prohibited.
- 9.3 The awning within the Vincent Street Other Regional Road reserve shall be designed to be removable to the satisfaction of the City. Should the Other Regional Road reserve land over which the awning sits be required for the upgrading of Vincent Street and the awning is required to be removed to accommodate this upgrading, the awning shall be removed at the applicant/owner's expense to the satisfaction of the City.

10. Acoustic Report and Noise Management

- 10.1 A revised acoustic report shall be lodged with and approved by the City, in accordance with the City's Policy No. 7.5.21 – Sound Attenuation, prior to the commencement of development. The revised acoustic report shall include the following:
- Inclusion of the nearest noise sensitive receiver located at No. 297 Vincent Street;
 - Consideration of the use of the rooftop terrace for staff events and gatherings, and any necessary recommendations to ensure compliance with the *Environmental Protection (Noise) Regulations 1997*; and
 - Consideration of the impact of noise generated by entertainment venues in proximity to the development as a result of having unrestricted operating hours.
- 10.2 All of the recommended measures included in the approved revised Acoustic Report shall be implemented prior to the occupation or use of the development and be maintained thereafter to the satisfaction of the City at the expense of the owners/occupiers



11. Amalgamation

Prior to development commencing, Lot 30 Newcastle Street, Leederville and Lot 8 Vincent Street, Leederville ('The lots') shall be amalgamated into a single lot on a Certificate of Title; or alternatively, the owner entering into a legal agreement with the City and secured by an absolute caveat lodged over the certificates of title to the Lots requiring the amalgamation to be completed prior to the use or occupation of the development.

The owner shall be responsible to pay all costs associated with the City's solicitor's costs incidental to the preparation of (including all drafts) and stamping of the agreement and lodgement of the absolute caveat.

12. Schedule of External Finishes

Prior to the commencement of development, a detailed schedule of external finishes (including materials, colour schemes and details) shall be submitted to and approved by the City. In addition to the general finishes for the development, this should address the treatment of the carpark on the sixth storey fronting Vincent Street and the lot boundary walls to the eastern boundary to reduce the visually prominence of these elements and the impact on the public realm as a result. The development shall be finished in accordance with the approved schedule prior to the use or occupation of the development.

13. Construction Management Plan

A Construction Management Plan that details how the construction of the development will be managed to minimise the impact on the surrounding area to the satisfaction of the City shall be lodged with and approved by the City prior to the commencement of the development. The Construction Management Plan shall address the following concerns that relate to any works to take place on the site:

- Public safety, amenity and site security;
- Contact details of essential site personnel;
- Construction operating hours;
- Noise control and vibration management;
- Dilapidation Reports of the adjacent heritage-listed property at No.150-154 Oxford Street;
- Air, sand and dust management;
- Stormwater and sediment control;
- Soil excavation and dewatering methods;
- Waste management and materials re-use;
- Traffic and access management;
- Parking arrangements for contractors and subcontractors; and
- Consultation plan with nearby properties.
- Compliance with AS4970-2009 relating to the protection of trees on the development site.



14. Public Art

- 14.1 In accordance with City of Vincent Policy 7.5.13 Percent for Art the application is required to make a public art contribution of \$360,000 being one percent of the \$36 million.

In order to comply with the Policy, the owner(s) or applicant, on behalf of the owner(s) shall submit a statutory declaration prior to the lodgement of a Building permit stipulating the choice of:

Option 1: Owner/Applicant chooses to co-ordinate the Public Art project themselves or by engaging an art consultant.

Or

Option 2: Owner/Applicant chooses to pay cash-in-lieu. Owner/Applicants who choose Option 2 will receive a 15% discount on the Percent for Art contribution.

- 14.2 The owner(s), or the applicant on behalf of the owner(s), shall comply with the City of Vincent Percent for Public Art Policy No. 7.5.13:

(a) in conjunction with the above chosen option;

(1) Option 1 –
prior to the issue of a Building Permit for the development, obtain approval for the Public Art Project and associated Artist; and

prior to the first occupation of the development, install the approved public art project, and thereafter maintain the art work;

OR

(2) Option 2 –
prior to the issue of an Occupancy Permit pay the above cash-in-lieu contribution amount.

15. Waste Management

- 15.1 The approved waste management plan prepared by Encycle Consulting dated 11 July 2019 (Rev_2) shall be implemented at all times to the satisfaction of the City unless otherwise approved by the City of Vincent.

16. General

- 16.1 Conditions that have a time limitation for compliance, and the condition is not met in the required timeframe, the obligation to comply with the requirements of the condition continues whilst the approved development exists.



17. This decision constitutes development approval only and is valid for a period of two years from the date of approval. If the subject development is not substantially commenced within the two year period, the approval shall lapse and be of no further effect. 17. A detailed signage strategy that provides for an integrated and coordinated approach to the design and provision of external signage on the development, including but not limited to details of size, location, content and illumination, being prepared, and approved by the City prior to the occupation or use of the development, and thereafter maintained.

Any subsequent signage not included in the signage strategy once approved, is to be subject to a separate application(s) for approval by the City.

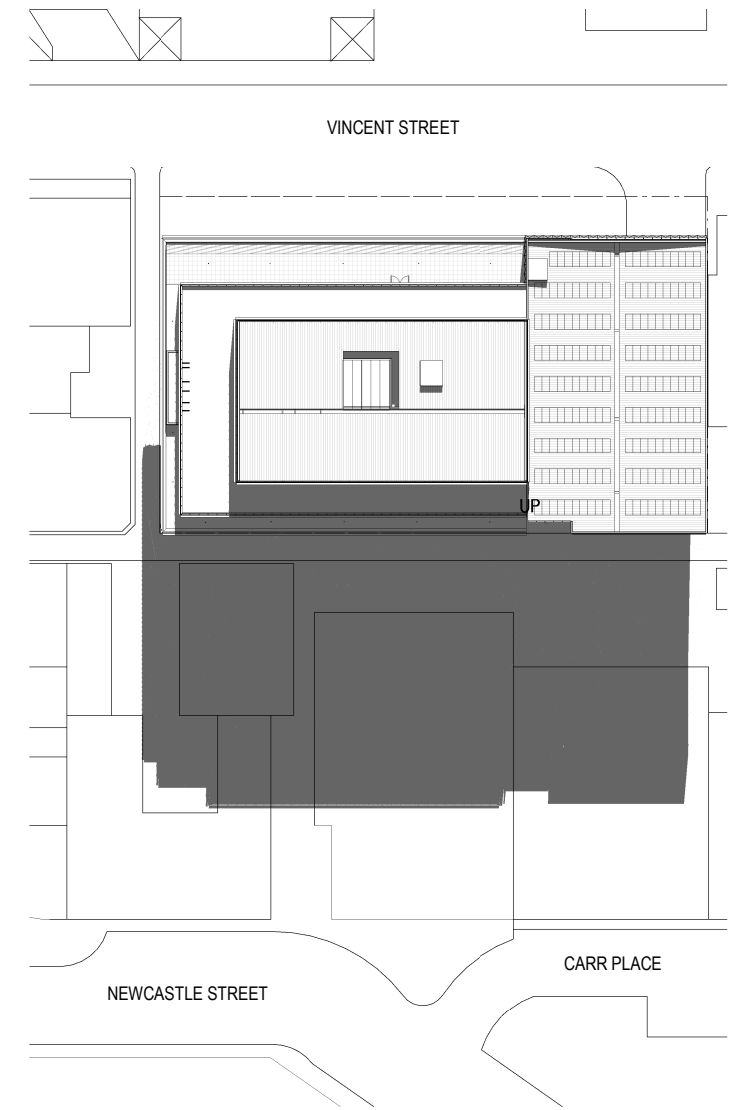
Advice Notes:

1. This is a development approval only and is issued under the City of Vincent's Local Planning Scheme No. 2 only. It is the responsibility of the applicant/owner to obtain any other necessary approvals and to commence and carry out development in accordance with any other laws.
2. All new crossovers to lots are subject to a separate application to be approved by the City. All new crossovers shall be constructed in accordance with the City's standard crossover specifications.
3. The movement of all path users, with or without disabilities, within the road reserve, shall not be impeded in any way during the course of the building works. This area shall be maintained in a safe and trafficable condition and a continuous path of travel (minimum width 1.5 metres) shall be maintained for all users at all times during construction works. Permits are required for placement of any materials within the road reserve.
4. An Infrastructure Protection Bond for the sum of \$3,000 together with a non-refundable inspection fee of \$100 shall be lodged with the City by the applicant, prior to the commencement of works, and will be held until all building/development works have been completed and any disturbance of, or damage to the City's infrastructure, including verge trees, has been repaired/reinstated to the satisfaction of the City. An application for the refund of the bond shall be made in writing. The bond is non-transferable.
5. All pedestrian access and vehicle driveway/crossover levels shall match into existing verge, footpath and right of way levels to the satisfaction of the City.
6. With respect to stormwater, should connection to the City's drainage infrastructure be required, this is to be in accordance with the City's Policy No. 2.2.10 – Stormwater Drainage Connections.
7. The City accepts no liability for the relocation of any public utility and/or any other services that may be required as a consequence of this development. The applicant/owner shall ensure that the location of all services is identified prior to submitting an application of building permit. The cost of relocated any services shall be borne by the applicant/owner. The applicant/landowner is advised to liaise with the Water Corporation and Western Power in regards to servicing and infrastructure requirements for the development.



8. With respect to waste, the applicant/landowner is advised that waste and refuse generated on the site by the development shall be collected by a private contractor at the expense of the applicant/landowner in accordance with the Waste Management Plan. Should the private waste collection cease and the City be required to collect the waste generated on-site, the applicant/landowner is to liaise with the City in respect to the City's requirements and specifications. Any alterations made in order to meet the City's specifications will require an amendment to this approval.
9. If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of determination, the approval will lapse and be of no further effect.
10. Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first be sought and obtained.
11. If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005, Part 14. An application must be made within 28 days of the determination.

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) of the *Planning and Development (Development Assessment Panels) Regulations 2011*.



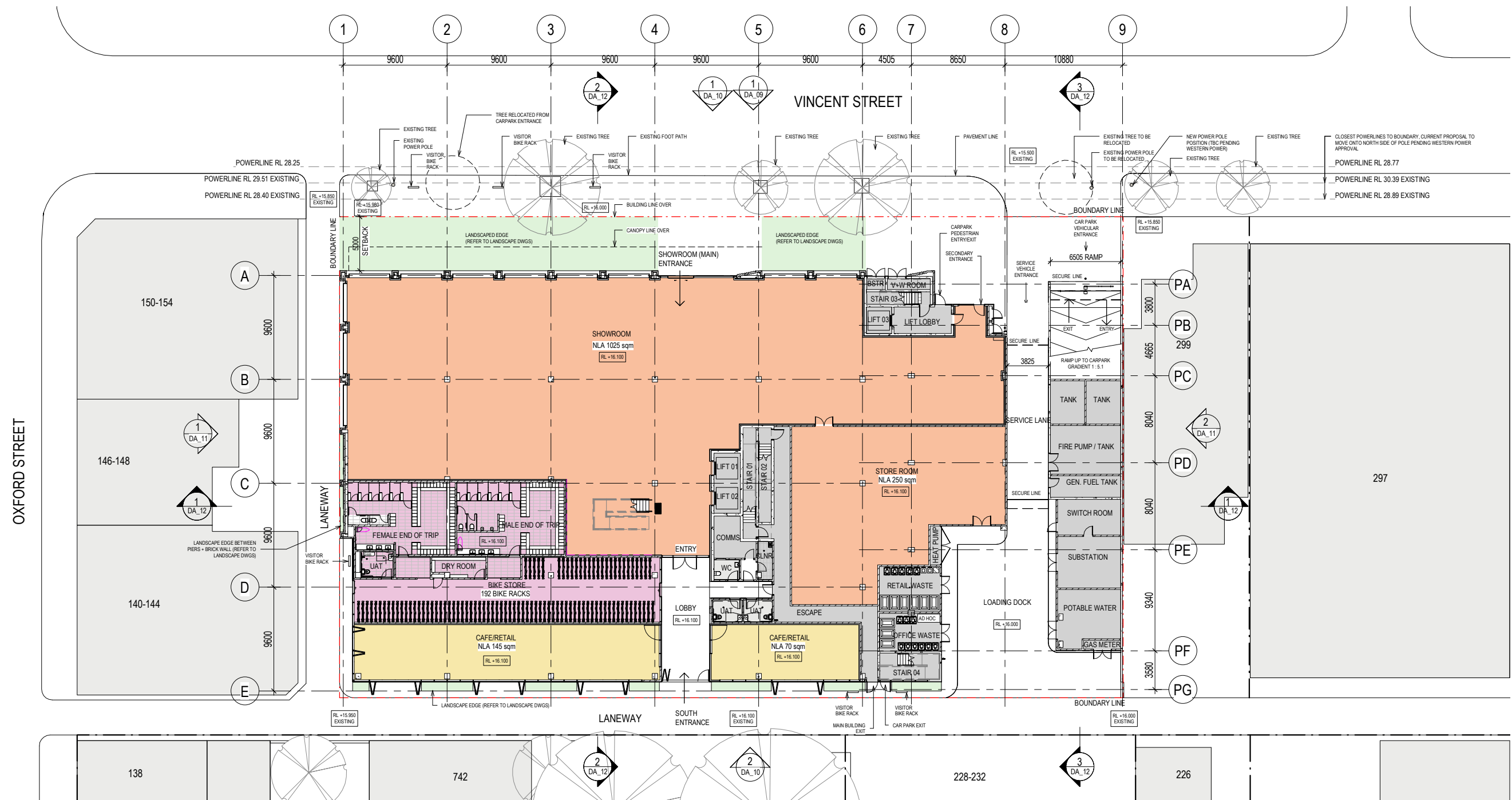
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NOTE:
REFER TO FEATURE SURVEY FOR EXISTING LEVELS
REFER TO GA PLANS + ELEVATIONS FOR PROPOSED LEVELS
REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE LOCATION + PERCENTAGE OF SITE AREA
REFER TO GROUND FLOOR PLAN FOR PROPOSED FINISHED SITE LEVELS

Drawing
DA_01
SITE PLAN



**1 GROUND FLOOR PLAN**
1:200

NOTE:
REFER TO LANDSCAPE DRAWINGS FOR PROPOSED LANDSCAPE SCOPE

Revision
A DA Submission
B DA Submission - Amendments
C DA Submission - Amendments

Date
20/02/19
06/05/19
11/07/19

Scale
1:200 @ A1
1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_02
GROUND FLOOR PLAN

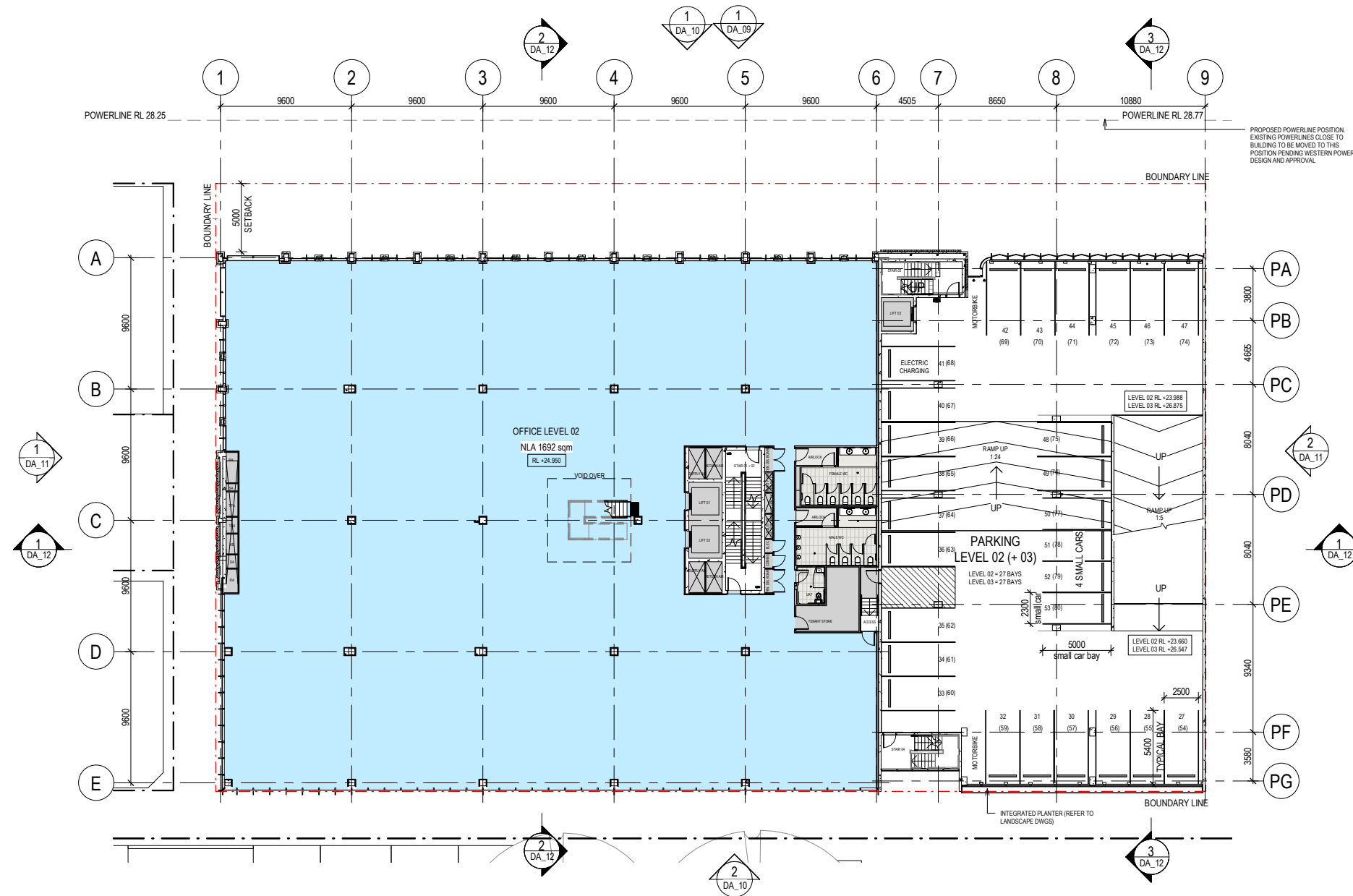
0 4 8 16m
1:200





Drawing
DA_03
FIRST FLOOR PLAN



**1 SECOND FLOOR PLAN**
1:200

NOTE: DRAWING SHOWS OFFICE LEVEL
02 AND PARKING LEVEL 02.
PARKING LEVEL 03 IS THE SAME
LAYOUT AS PARKING LEVEL 02 (NOT
SHOWN)

Revision
A DA Submission
B DA Submission - Amendments

Date
20/02/19
11/07/19

Scale
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1:400 @ A3

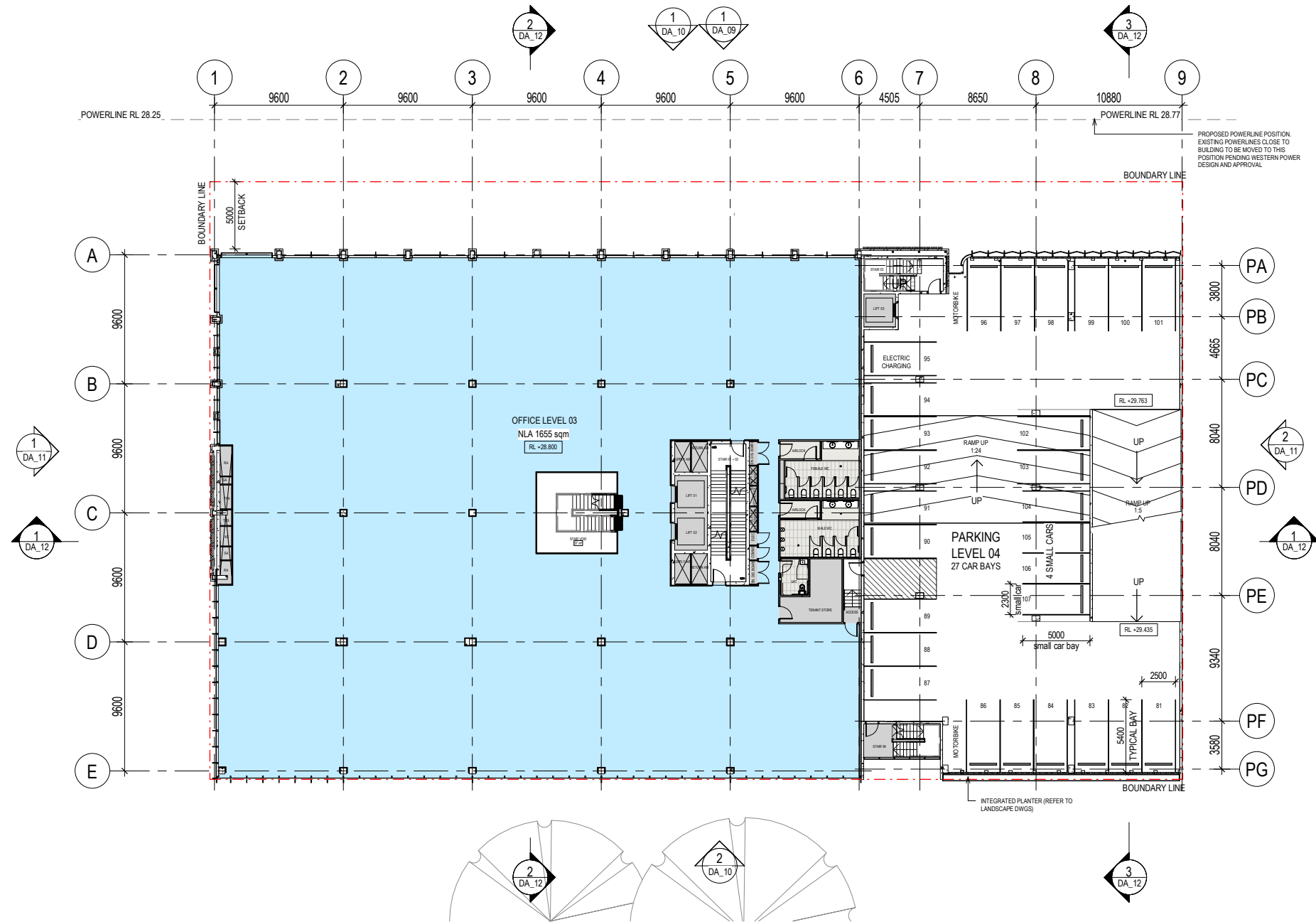
Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_04
SECOND FLOOR PLAN

0 4 8 16m
1:200





1 THIRD FLOOR PLAN
1:200

Revision
A DA Submission
B DA Submission - Amendments

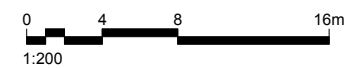
Date
20/02/19
11/07/19

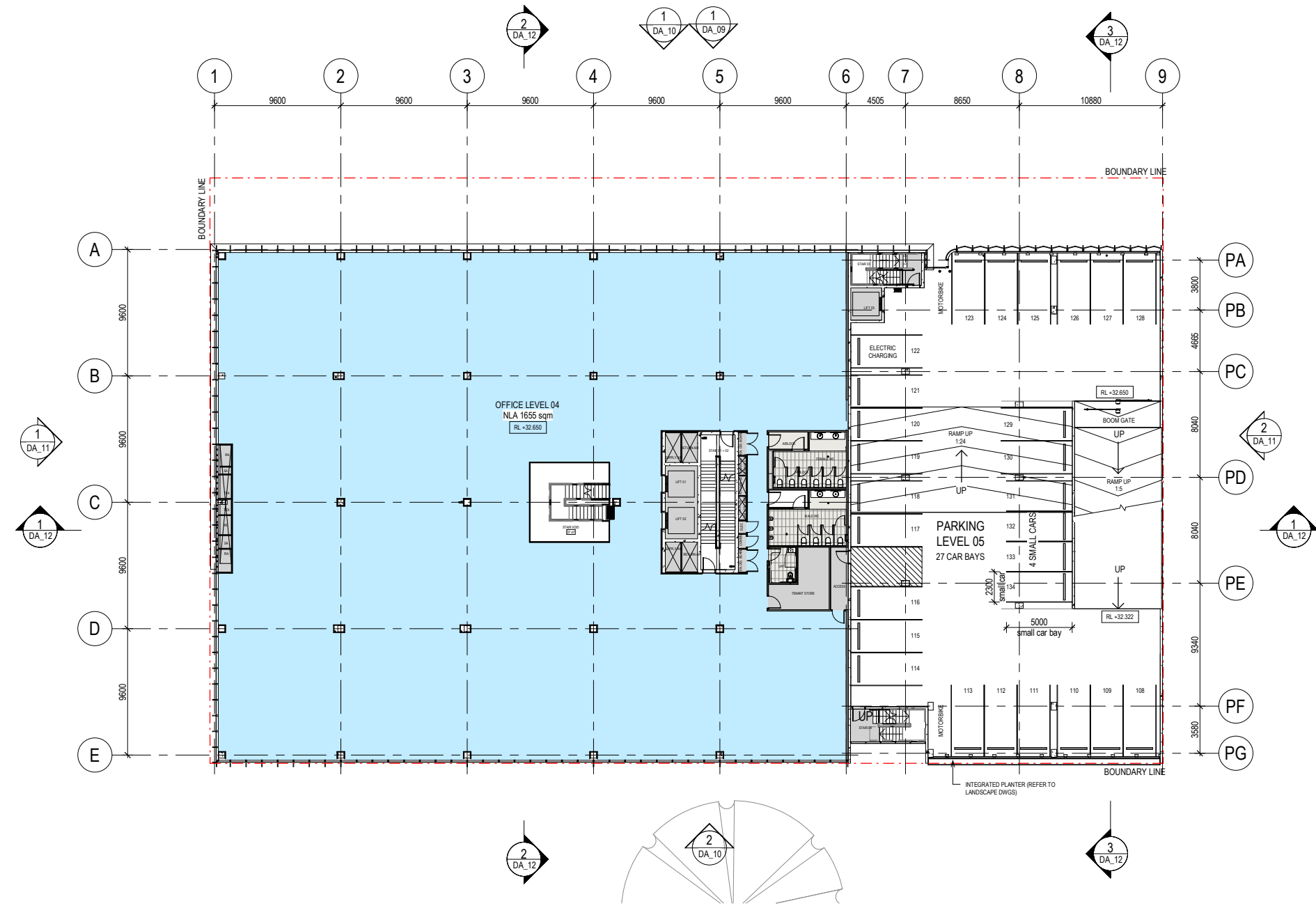
Scale
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1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_05
THIRD FLOOR PLAN





1 FOURTH FLOOR PLAN
1:200

| Revision |
|------------------------------|
| A DA Submission |
| B DA Submission - Amendments |

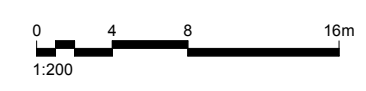
Date
20/02/19
11/07/19

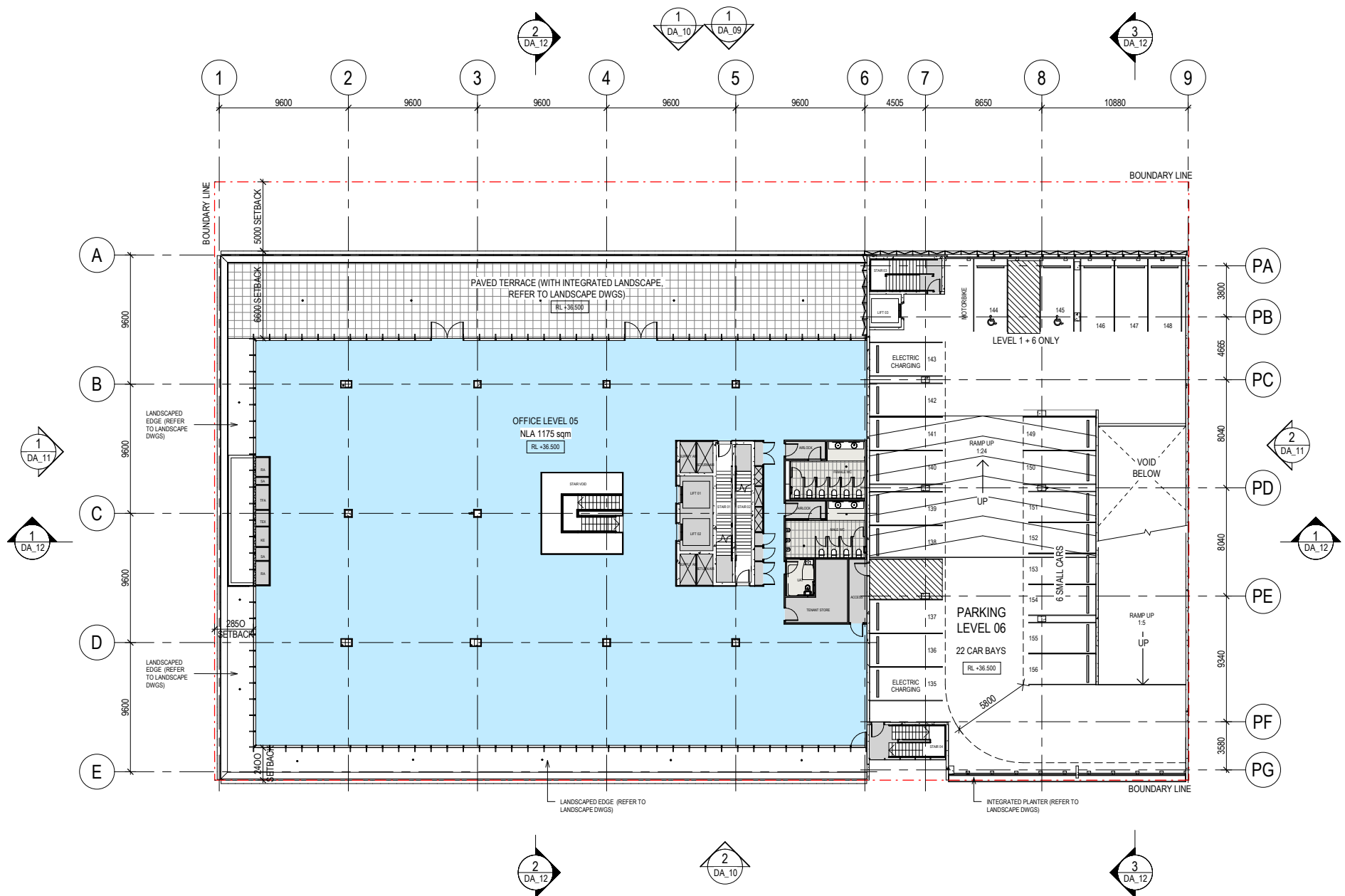
Scale
1:200 @ A1
1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_06
FOURTH FLOOR PLAN





1 FIFTH FLOOR PLAN
1:200

| Revision |
|------------------------------|
| A DA Submission |
| B DA Submission - Amendments |

Date
20/02/19
11/07/19

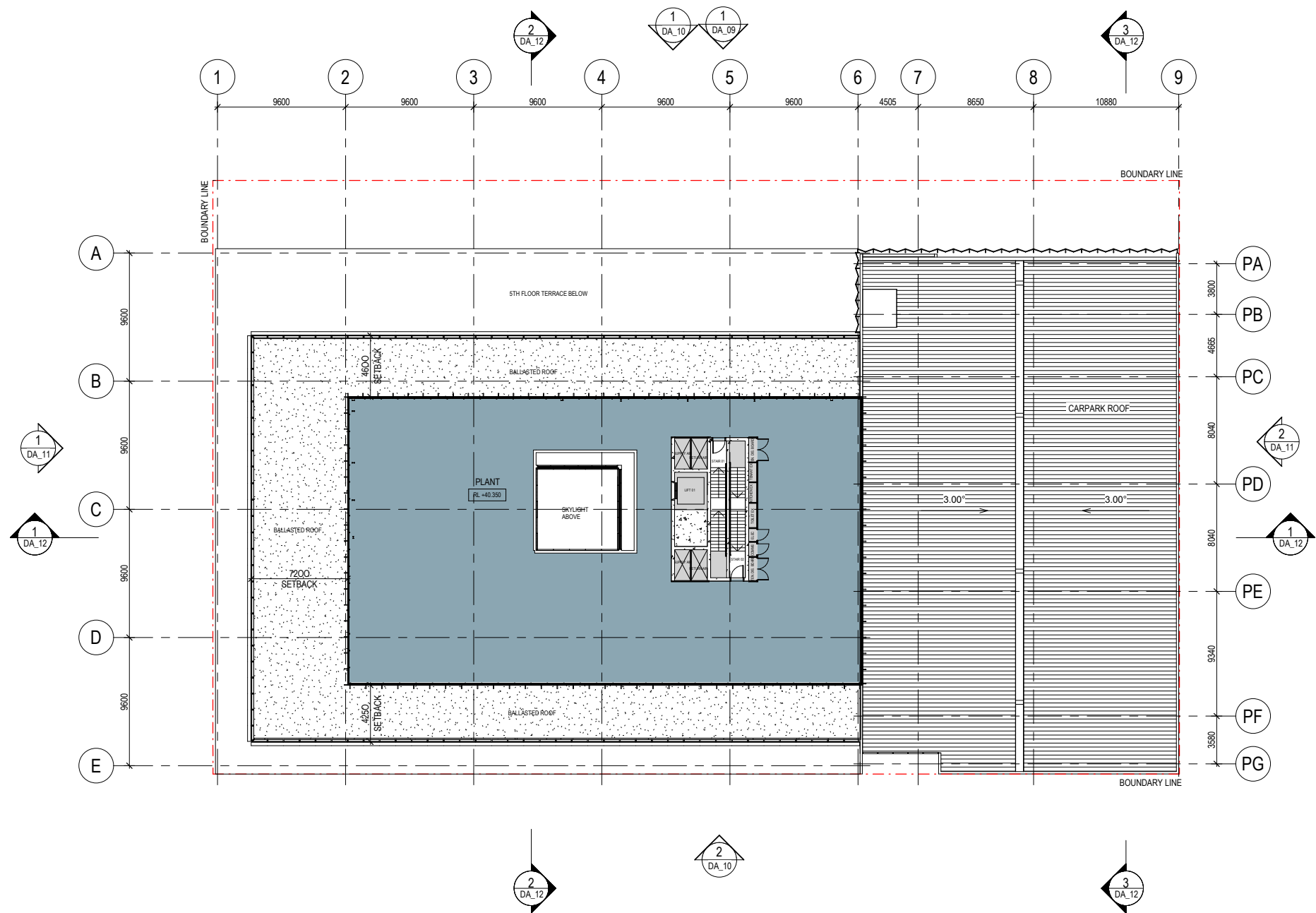
Scale
1:200 @ A1
1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_07
FIFTH FLOOR PLAN





1 SIXTH FLOOR PLAN (PLANT)
1:200

Revision
A DA Submission - Amendments

Date
11/07/19

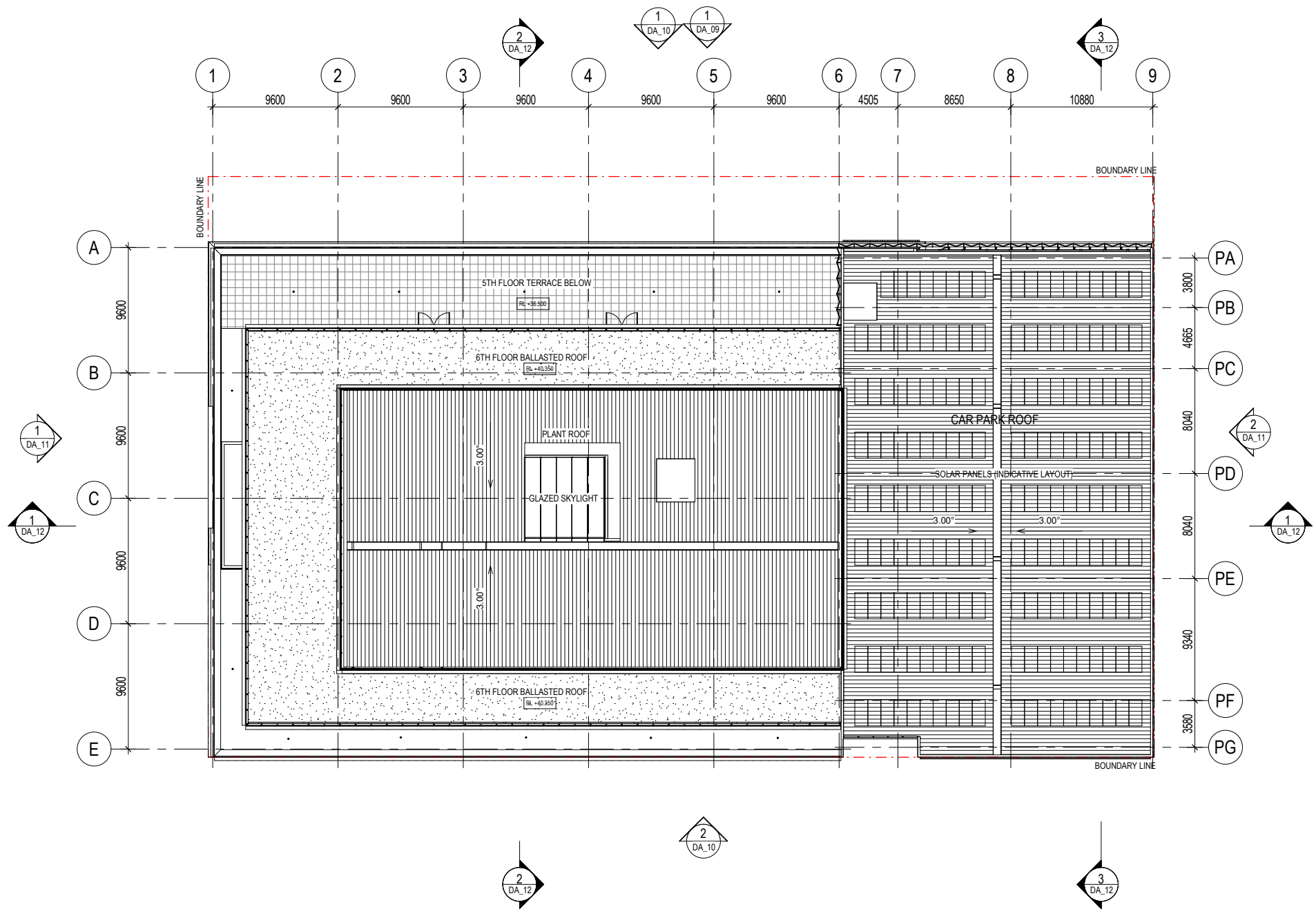
Scale
1:200 @ A1

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_07.1
SIXTH FLOOR PLAN (PLANT)





1 ROOF PLAN
1:200

| Revision | |
|----------|----------------------------|
| A | DA Submission |
| B | DA Submission - Amendments |

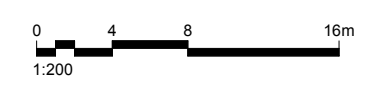
Date
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11/07/19

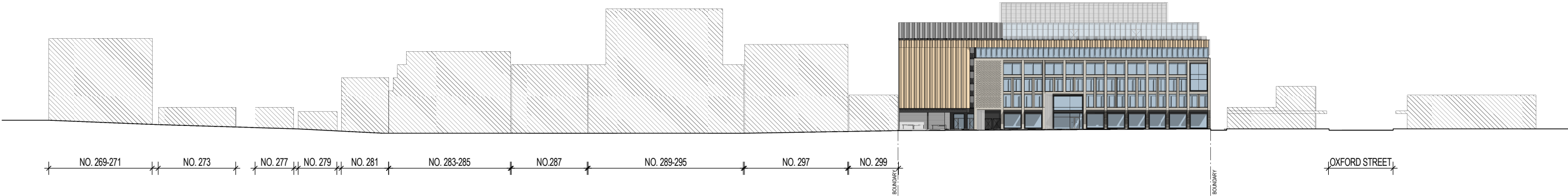
Scale
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1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_08
ROOF PLAN





1 CONTEXT ELEVATION - VINCENT STREET LOOKING SOUTH

1 : 500

| Revision | |
|----------|----------------------------|
| A | DA Submission |
| B | DA Submission - Amendments |

| Date |
|----------|
| 20/02/19 |
| 11/07/19 |

| Scale |
|---------------|
| 1 : 500 @ A1 |
| 1 : 1000 @ A3 |

| Client |
|--------|
| FJM |

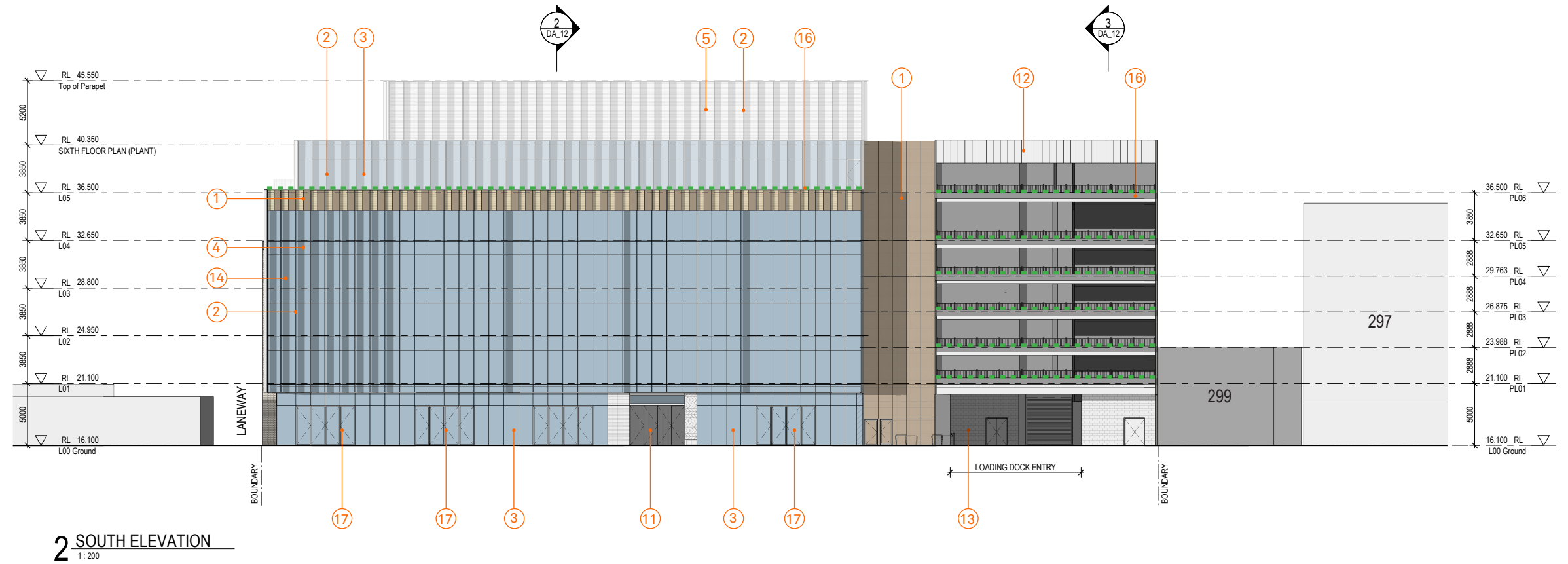
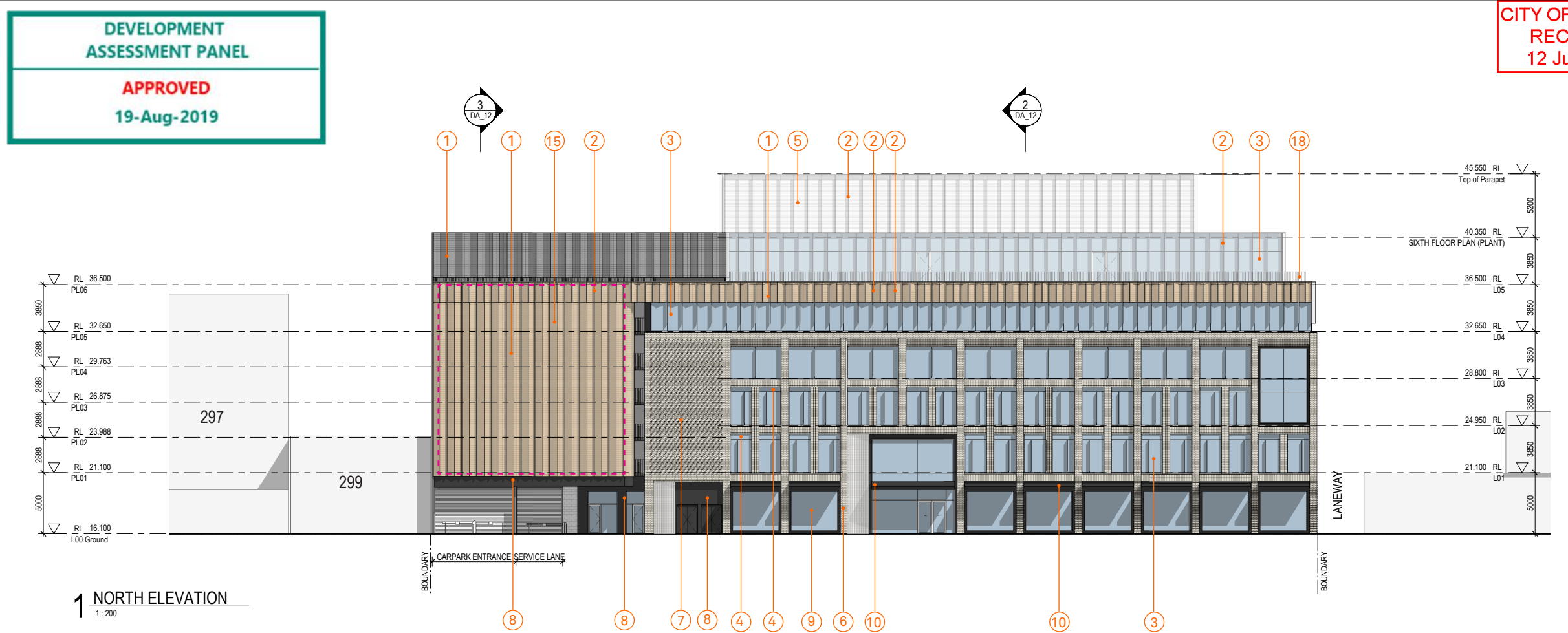
| Project Name |
|--------------------|
| LEEDERVILLE SQUARE |

| Drawing |
|-------------------|
| DA_09 |
| CONTEXT ELEVATION |



LEGEND

1. Perforated metal panelling
2. Expressed vertical fins
3. Framed double glazed units
4. Glazed back painted spandrels
5. Louvred panels
6. Face brick
7. Face brick with expressed pattern
8. Metal panelling
9. Glazed bay window shopfronts with expressed metal surround
10. Metal canopy
11. Metal gates
12. Pre-cast concrete panelling
13. Concrete blockwork
14. Double glazed curtain walling system
15. - - - Opportunity for integrated artwork
16. - - - Opportunity for integrated landscape. Refer to Landscape drawings
17. Opening shopfronts
18. Metal Balustrade



| Revision | |
|----------|----------------------------|
| A | DA Submission |
| B | DA Submission - Amendments |
| C | DA Submission - Amendments |

Date
20/02/19
06/05/19
11/07/19

Scale
1 : 200 @ A1
1 : 400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_10
ELEVATIONS

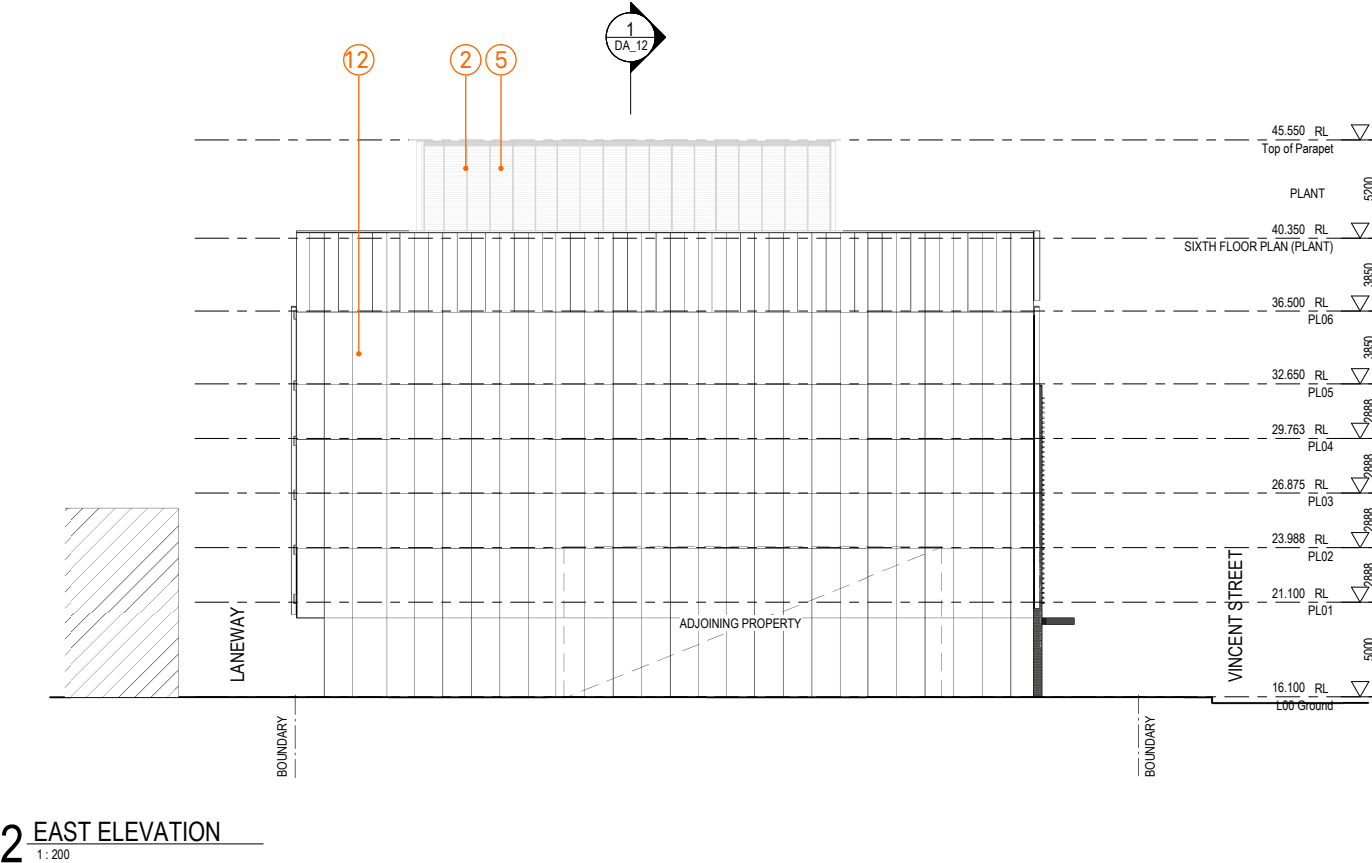
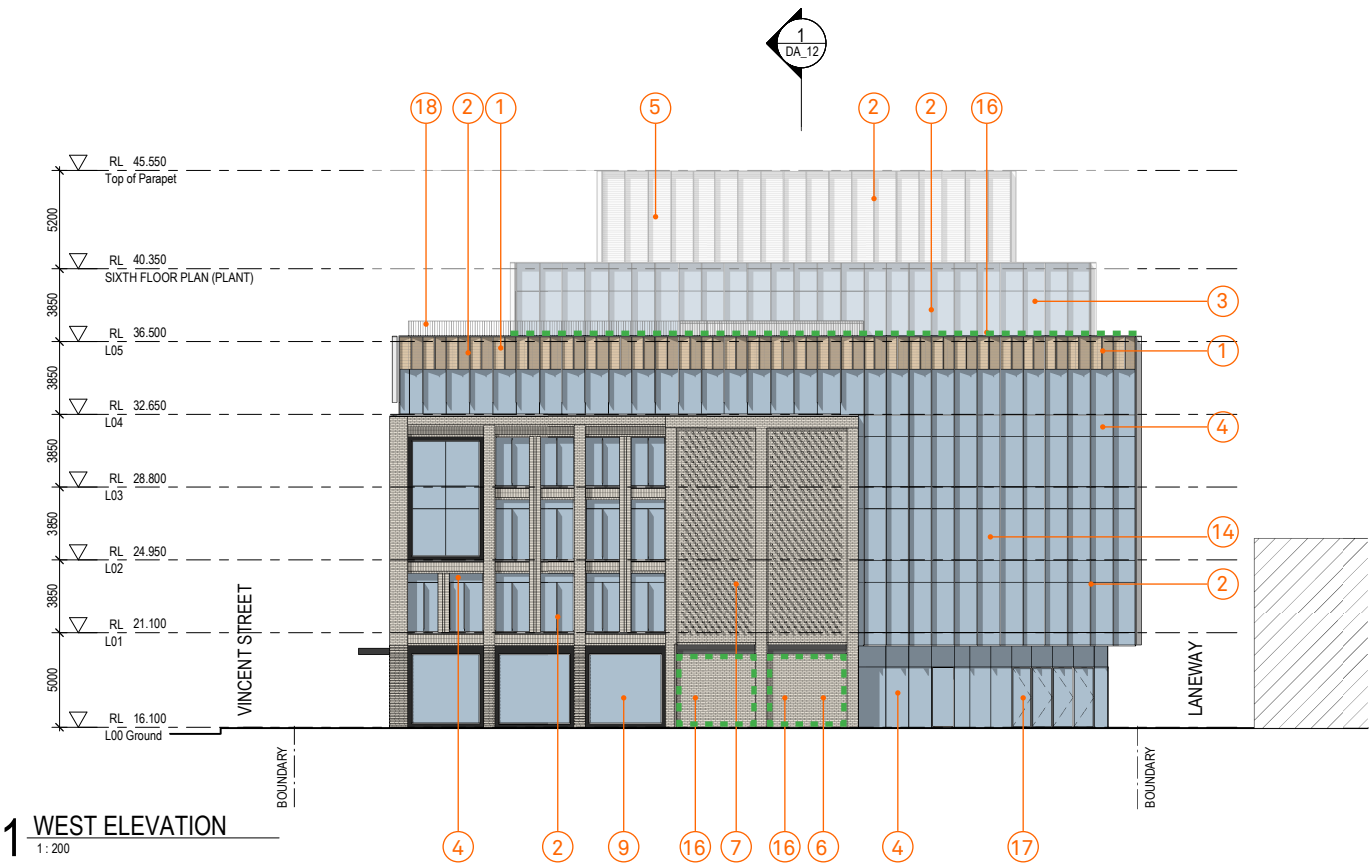
HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION



LEGEND

- 1. Perforated metal panelling
- 2. Expressed vertical fins
- 3. Framed double glazed units
- 4. Glazed back painted spandrels
- 5. Louvred panels
- 6. Face brick
- 7. Face brick with expressed pattern
- 8. Metal panelling
- 9. Glazed bay window shopfronts with expressed metal surround
- 10. Metal canopy
- 11. Metal gates
- 12. Pre-cast concrete panelling
- 13. Concrete blockwork
- 14. Double glazed curtain walling system
- 15. - - - Opportunity for integrated artwork
- 16. - - - Opportunity for integrated landscape. Refer to Landscape drawings
- 17. Opening shopfronts
- 18. Metal Balustrade



DEVELOPMENT
ASSESSMENT PANEL

APPROVED
19-Aug-2019

CITY OF VINCENT
RECEIVED
12 July 2019

| Revision | |
|----------|----------------------------|
| A | DA Submission |
| B | DA Submission - Amendments |
| C | DA Submission - Amendments |

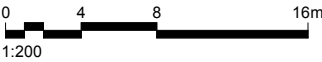
Date
20/02/19
06/05/19
11/07/19

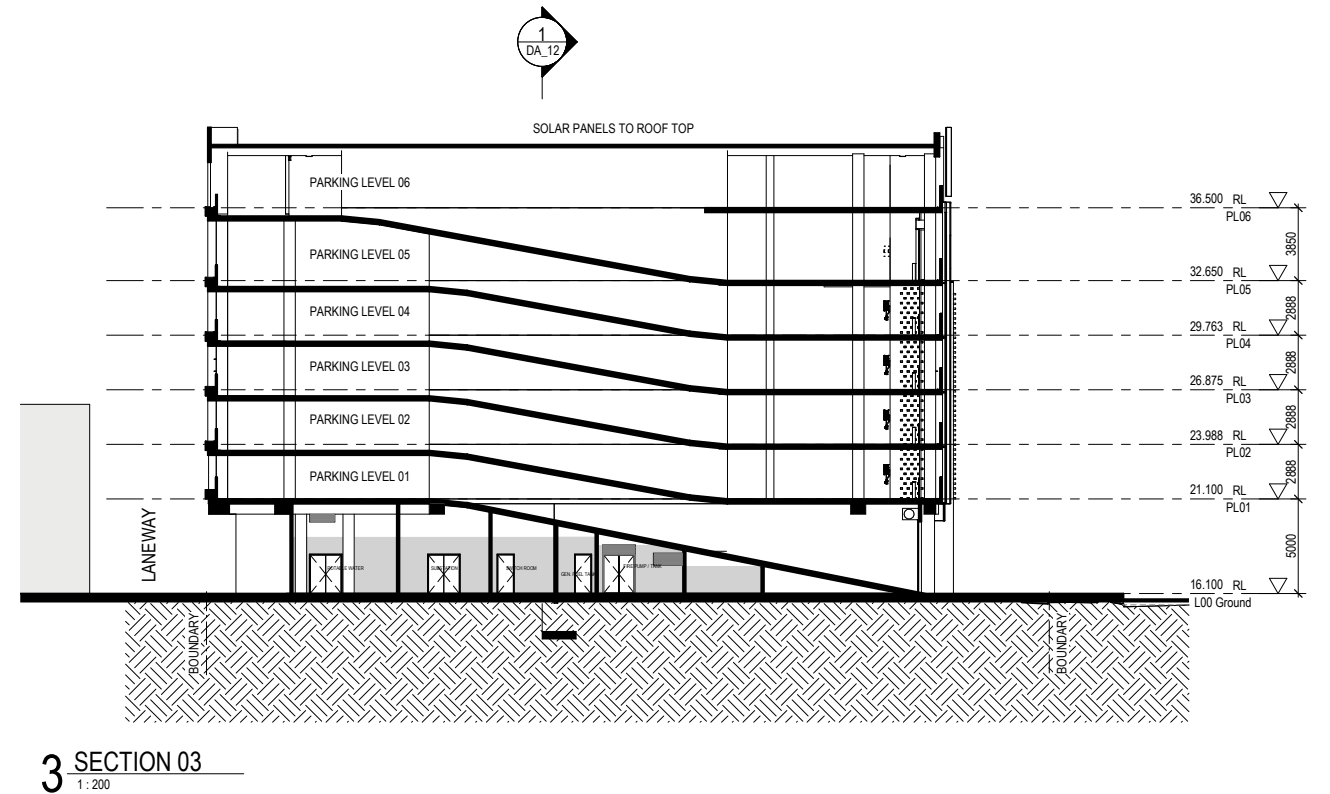
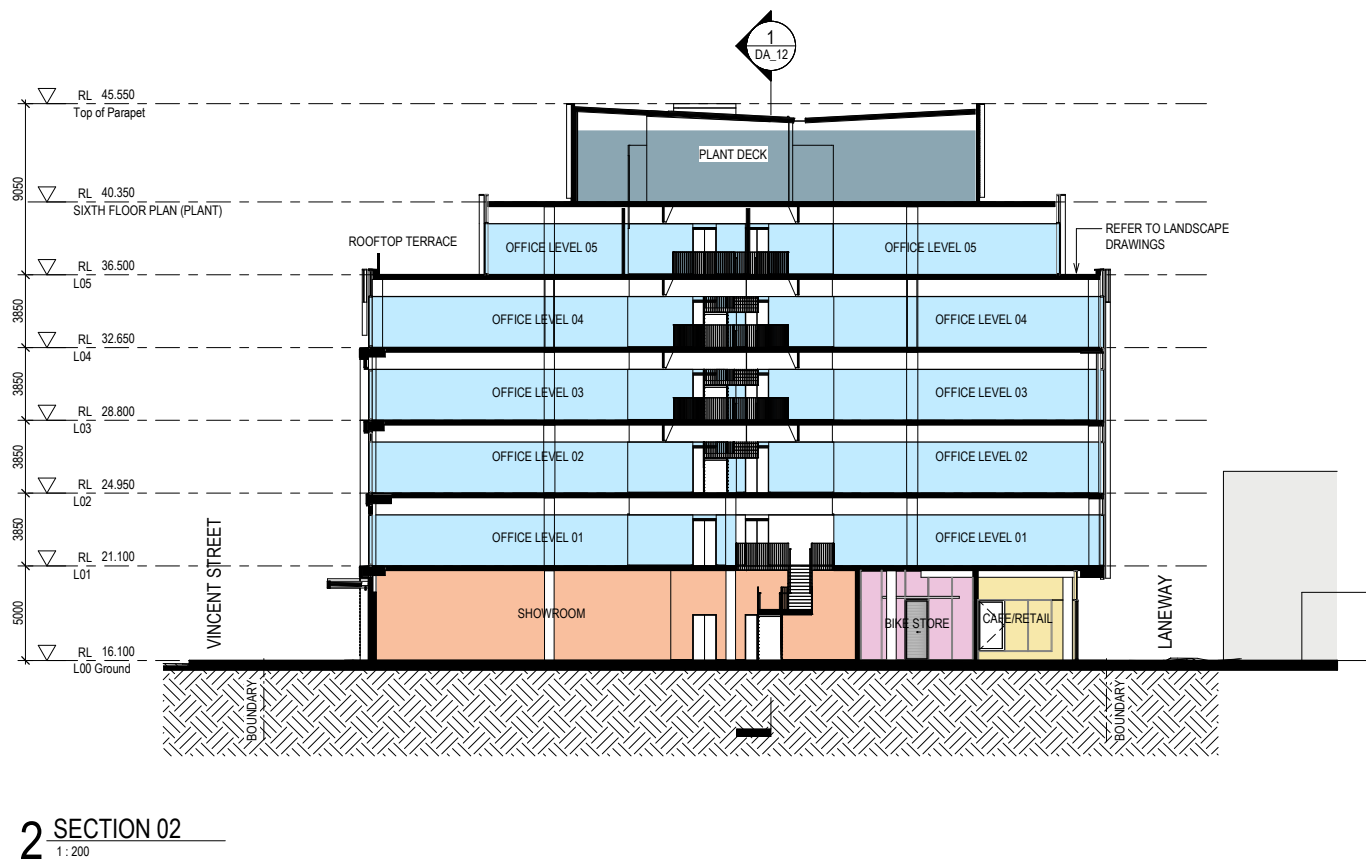
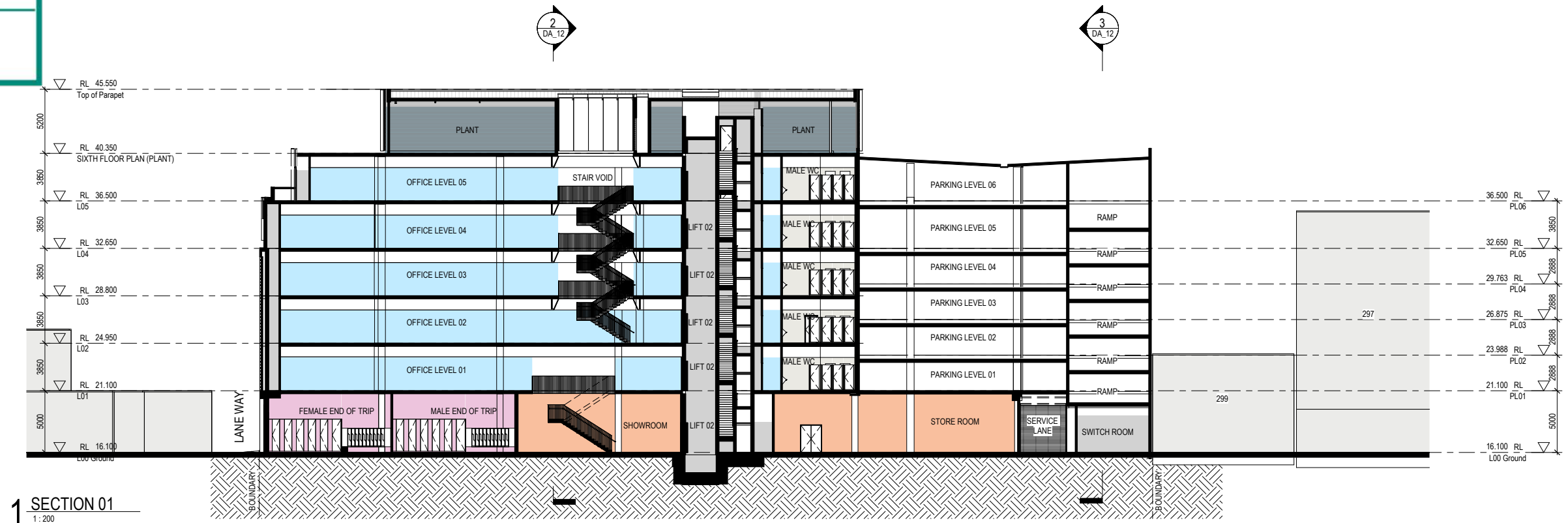
Scale
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1 : 400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_11
ELEVATIONS





Revision
A DA Submission
B DA SUBMISSION AMENDMENTS

Date
20/02/19
28/05/19

Scale
1:200 @ A1
1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE SQUARE

Drawing
DA_12
SECTIONS

0 4 8 16m
1:200





CITY OF VINCENT

ATTACHMENT 3

DEVELOPMENT ASSESSMENT PANEL MEETING

Proposed Development Plans



LOT 30, 747 NEWCASTLE STREET + LOT 8, 301 VINCENT STREET, LEEDERVILLE

SUBJECT SITE AREA

3,219 sqm

CITY OF VINCENT
RECEIVED
13 January 2020

NET LETTABLE AREAS

| | |
|----------------------|-----------|
| Ground - Showroom | 1,214 sqm |
| Ground - Cafe/Retail | 219 sqm |
| Level 01 - Office | 1,642 sqm |
| Level 02 - Office | 1,675 sqm |
| Level 03 - Office | 1,642 sqm |
| Level 04 - Office | 1,642 sqm |
| Level 05 - Office | 1,187 sqm |
| <hr/> | |
| TOTAL | 9,221 sqm |

CAR PARKING BAYS

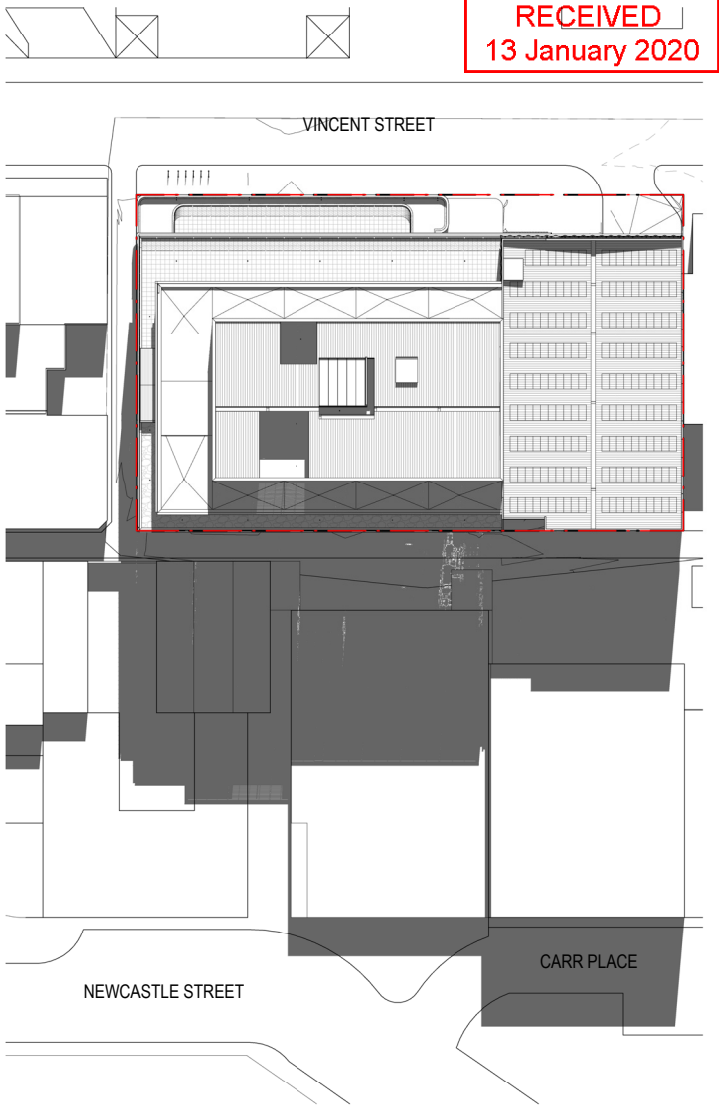
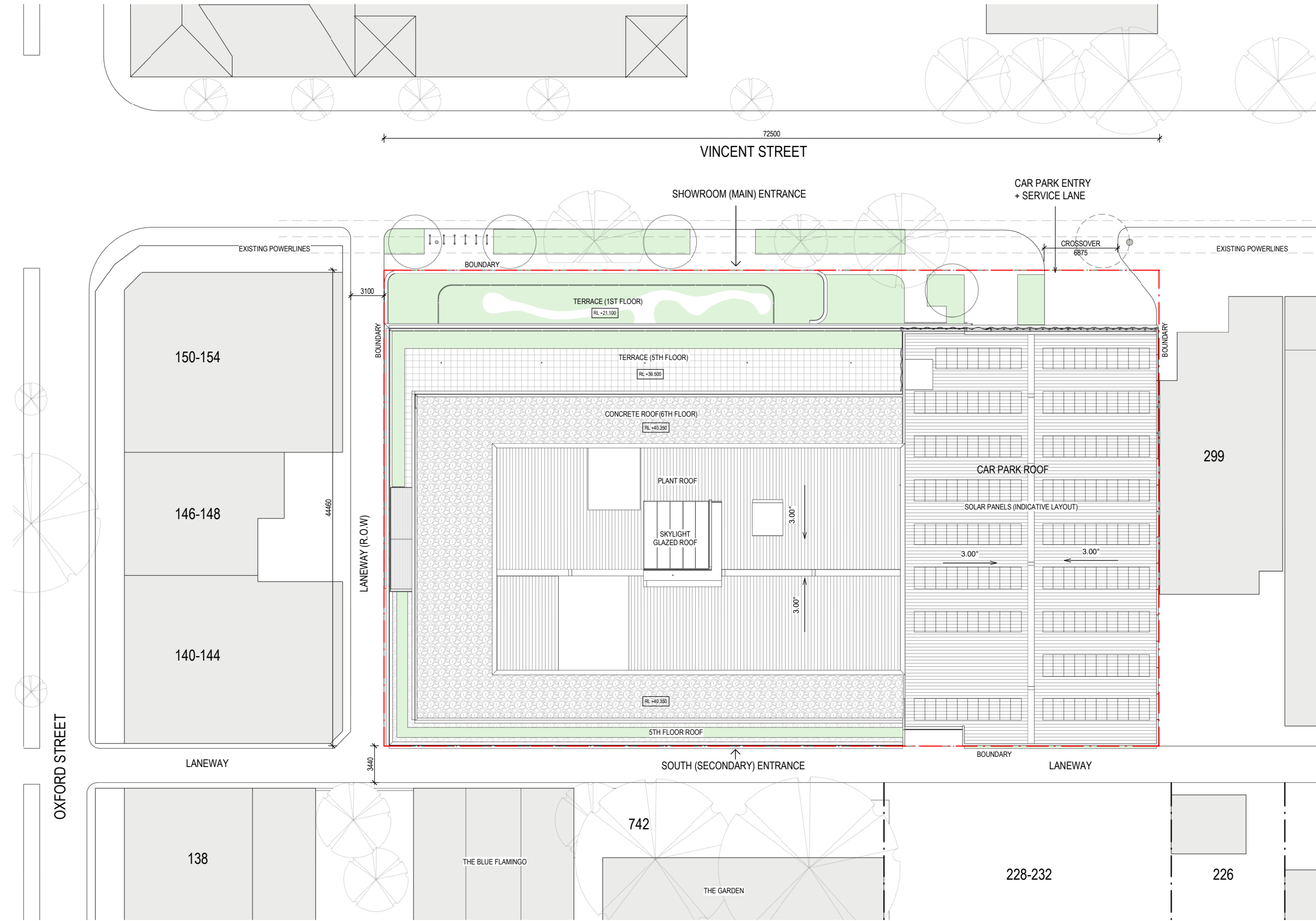
| | |
|----------|--------------------|
| Level 01 | 26 (incl. 2 ACROD) |
| Level 02 | 27 |
| Level 03 | 28 |
| Level 04 | 27 |
| Level 05 | 27 |
| Level 06 | 26 (incl. 2 ACROD) |
| <hr/> | |
| TOTAL | 161 bays |

MOTORBIKE PARKING BAYS

| | |
|----------|---------|
| Level 01 | 2 |
| Level 02 | 2 |
| Level 03 | 2 |
| Level 04 | 2 |
| Level 05 | 2 |
| Level 06 | 3 |
| <hr/> | |
| TOTAL | 13 bays |

LANDSCAPING

Refer to Landscape drawings for areas



1 SITE PLAN
1:200

SITE ADDRESS : LOT 30, 742 NEWCASTLE STREET (VINCENT ST FRONTAGE) + LOT 8, 301 VINCENT STREET.
SITE AREA: 3,219 sqm

NOTE:
REFER TO FEATURE SURVEY FOR EXISTING LEVELS
REFER TO GA PLANS + ELEVATIONS FOR PROPOSED LEVELS
REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE LOCATION + PERCENTAGE OF SITE AREA
REFER TO GROUND FLOOR PLAN FOR PROPOSED FINISHED SITE LEVELS

| Revision | Date |
|------------------------------|----------|
| A DA SUBMISSION | 20/02/19 |
| B DA SUBMISSION - AMENDMENTS | 11/07/19 |
| C DA SUBMISSION - AMENDMENTS | 27/09/19 |
| D DA SUBMISSION - AMENDMENTS | 13/01/20 |

Date
20/02/19
11/07/19
27/09/19
13/01/20

Scale
As indicated @ A1

Client
FJM

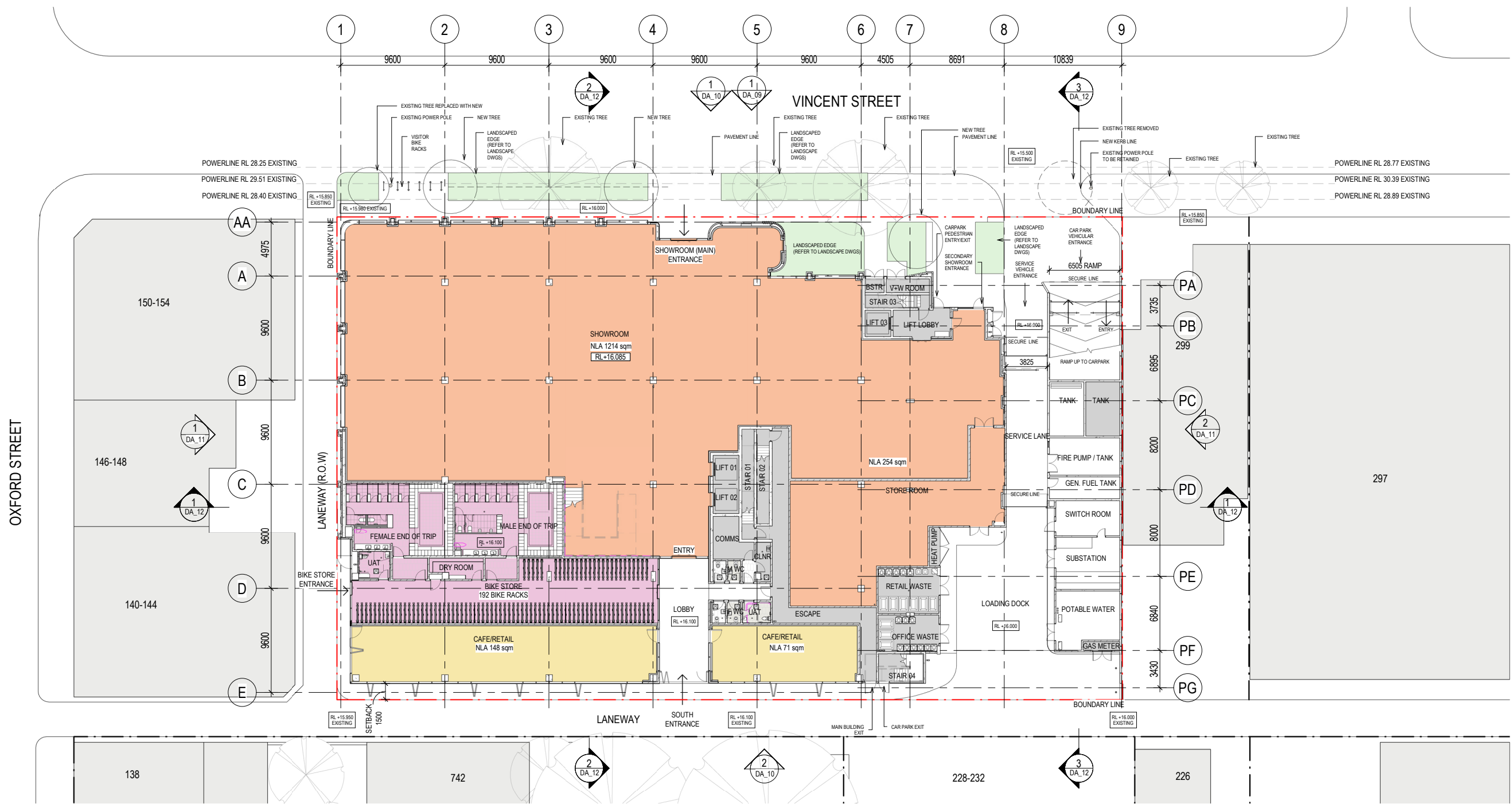
Project Name
LEEDERVILLE ABN

Drawing
DA_01
SITE PLAN

HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION





1 GROUND FLOOR PLAN
1:200

NOTE:
REFER TO LANDSCAPE DRAWINGS FOR PROPOSED LANDSCAPE SCOPE

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |
| E | DA SUBMISSION - AMENDMENTS |

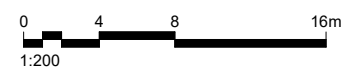
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|----------|--|
| 20/02/19 | |
| 06/05/19 | |
| 11/07/19 | |
| 27/09/19 | |
| 13/01/20 | |

| Scale | |
|------------|--|
| 1:200 @ A1 | |
| 1:400 @ A3 | |

Client
FJM

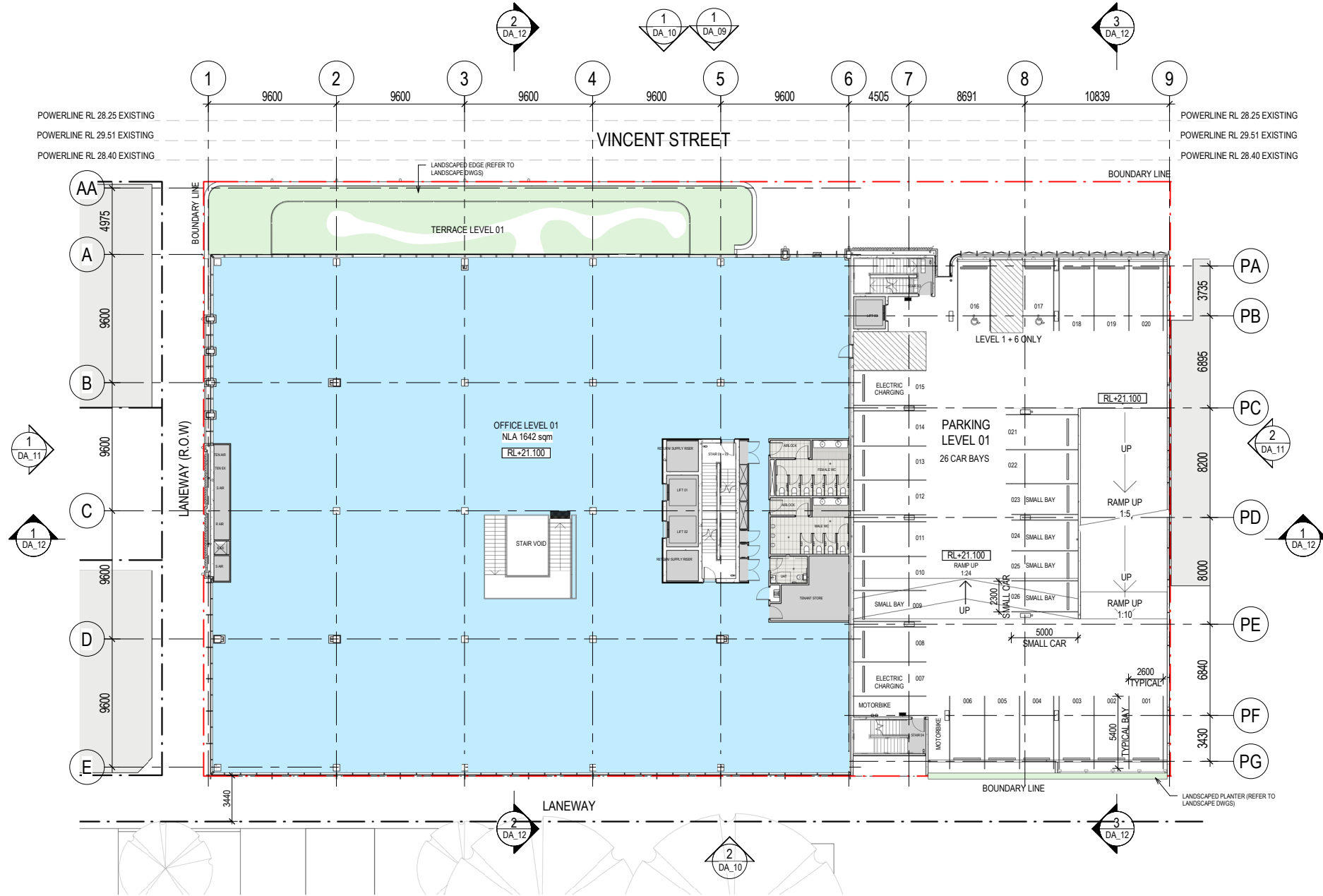
Project Name
LEEDERVILLE ABN

Drawing
DA_02
GROUND FLOOR PLAN



HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN
1:200

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |

Date
20/02/19
11/07/19
27/09/19
13/01/20

Scale
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1:400 @ A3

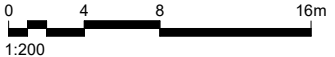
Client
FJM

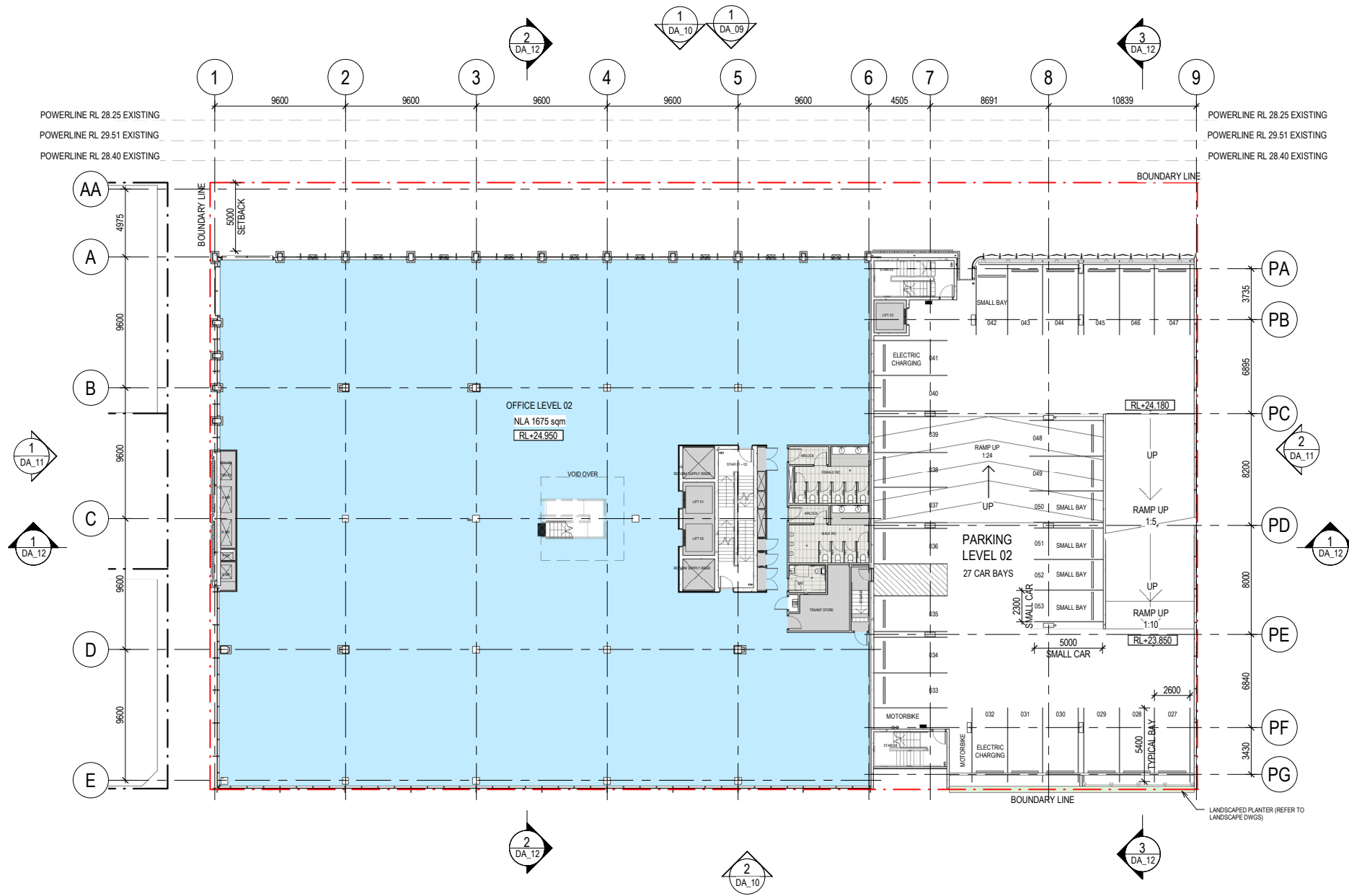
Project Name
LEEDERVILLE ABN

Drawing
DA_03
FIRST FLOOR PLAN

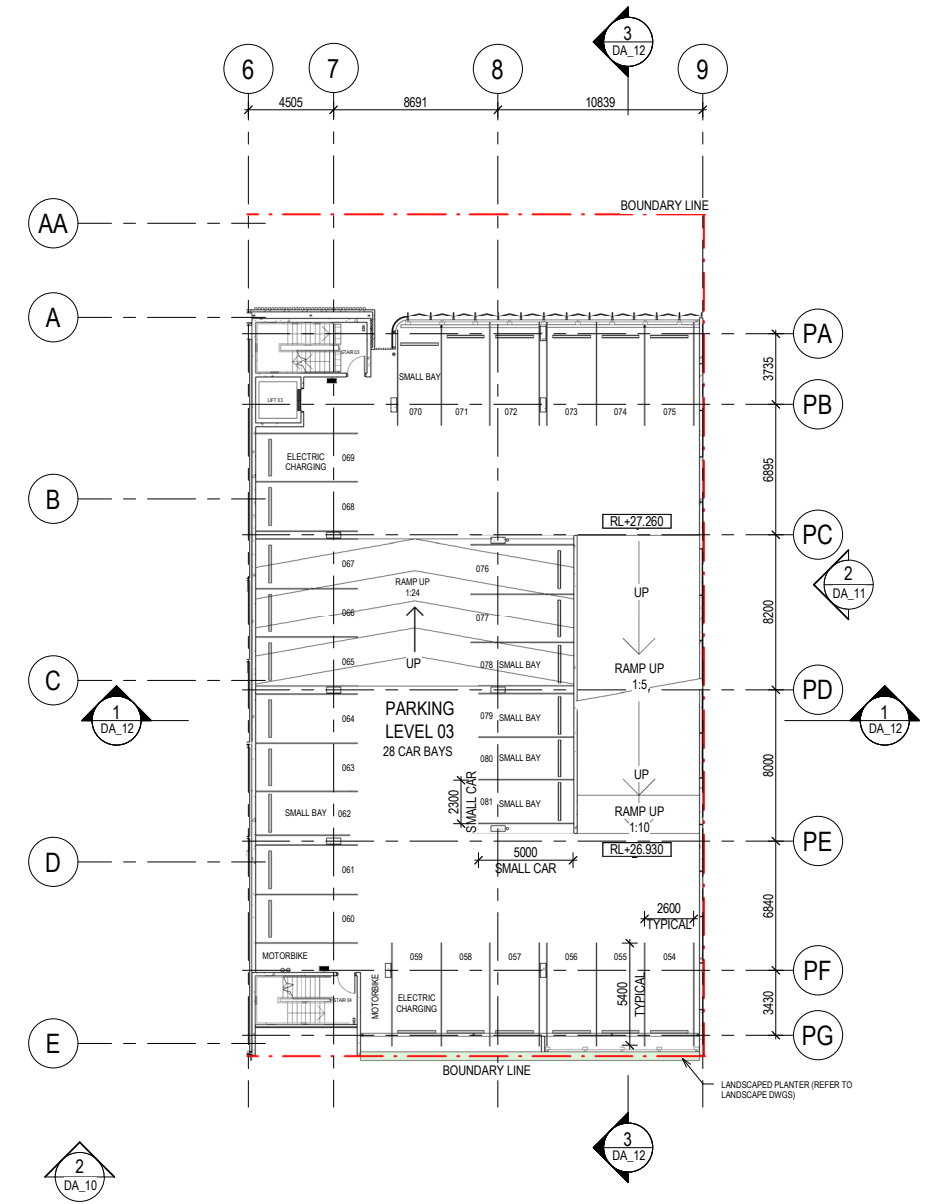
HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION





1 SECOND FLOOR PLAN
1:200



2 THIRD PARKING LEVEL FLOOR PLAN
1:200

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |

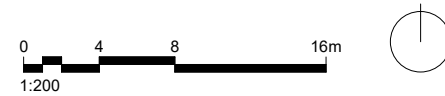
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| 20/02/19 | |
| 11/07/19 | |
| 27/09/19 | |
| 13/01/20 | |

Scale
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Client
FJM

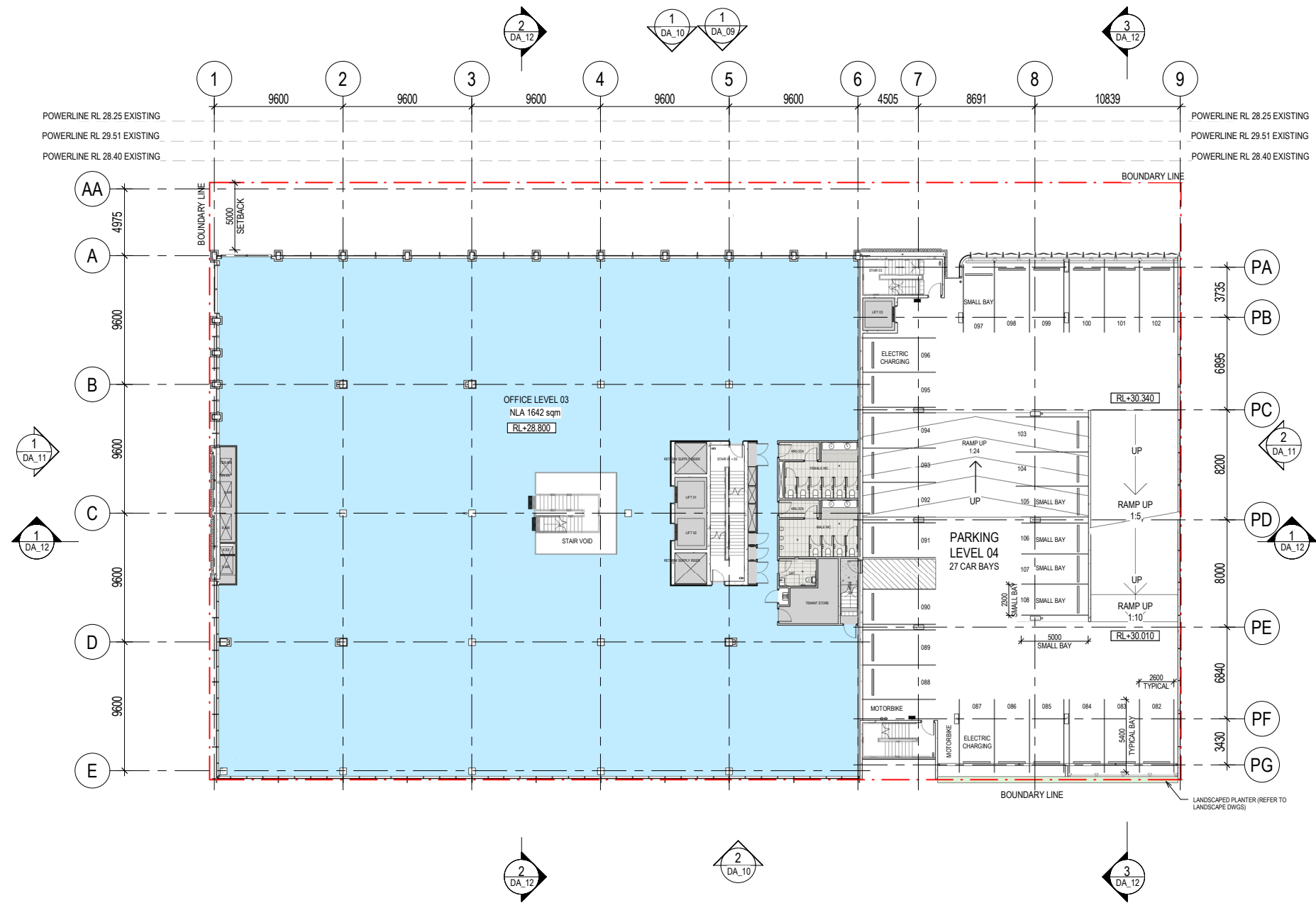
Project Name
LEEDERVILLE ABN

Drawing
DA_04
SECOND FLOOR PLAN



HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION



1 THIRD FLOOR PLAN
1:200

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |

Date
20/02/19
11/07/19
27/09/19
13/01/20

Scale
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1:400 @ A3

Client
FJM

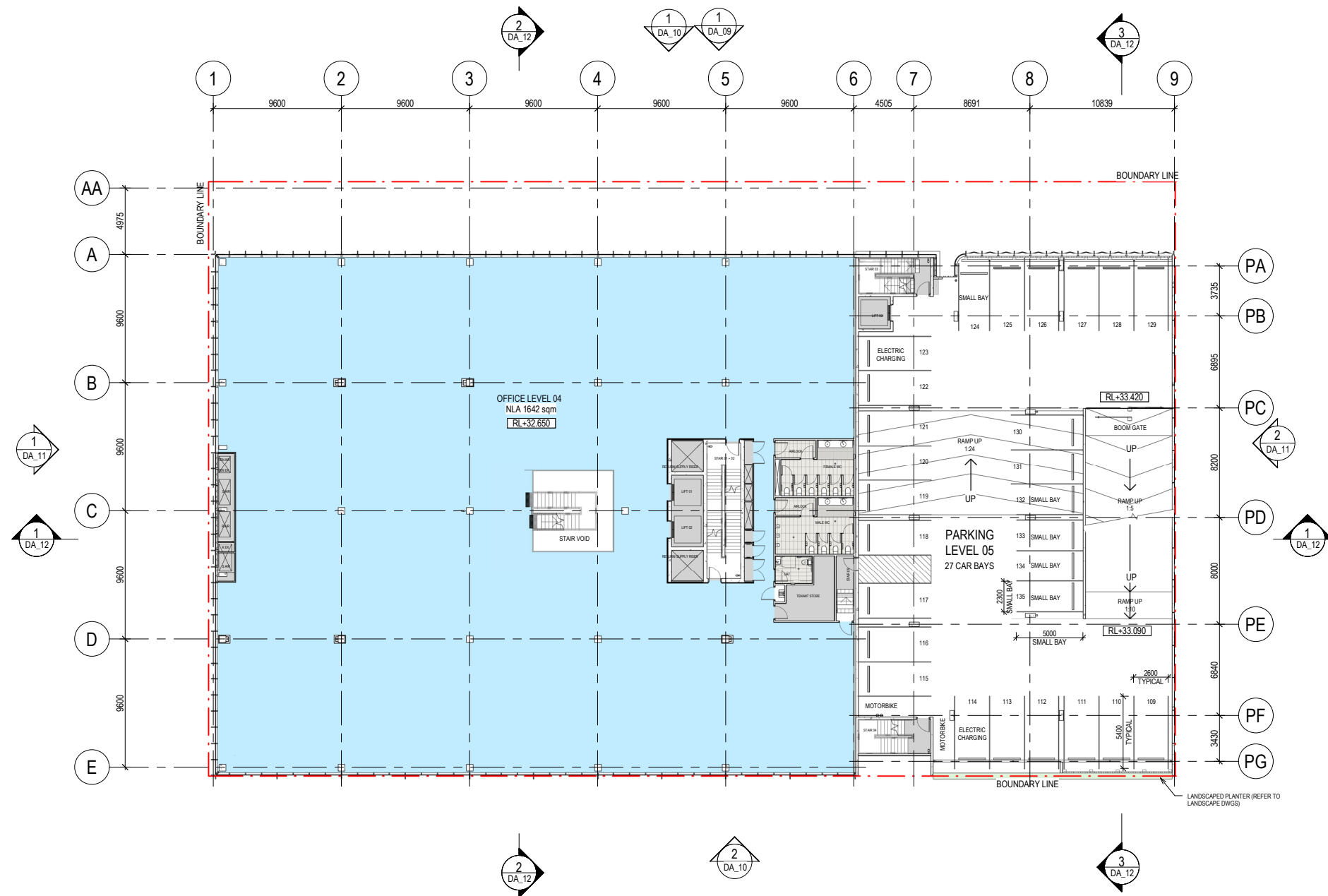
Project Name
LEEDERVILLE ABN

Drawing
DA_05
THIRD FLOOR PLAN

HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION





1 FOURTH FLOOR PLAN
1:200

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |

| Date | |
|----------|--|
| 20/02/19 | |
| 11/07/19 | |
| 27/09/19 | |
| 13/01/20 | |

| Scale | |
|------------|--|
| 1:200 @ A1 | |
| 1:400 @ A3 | |

Client
FJM

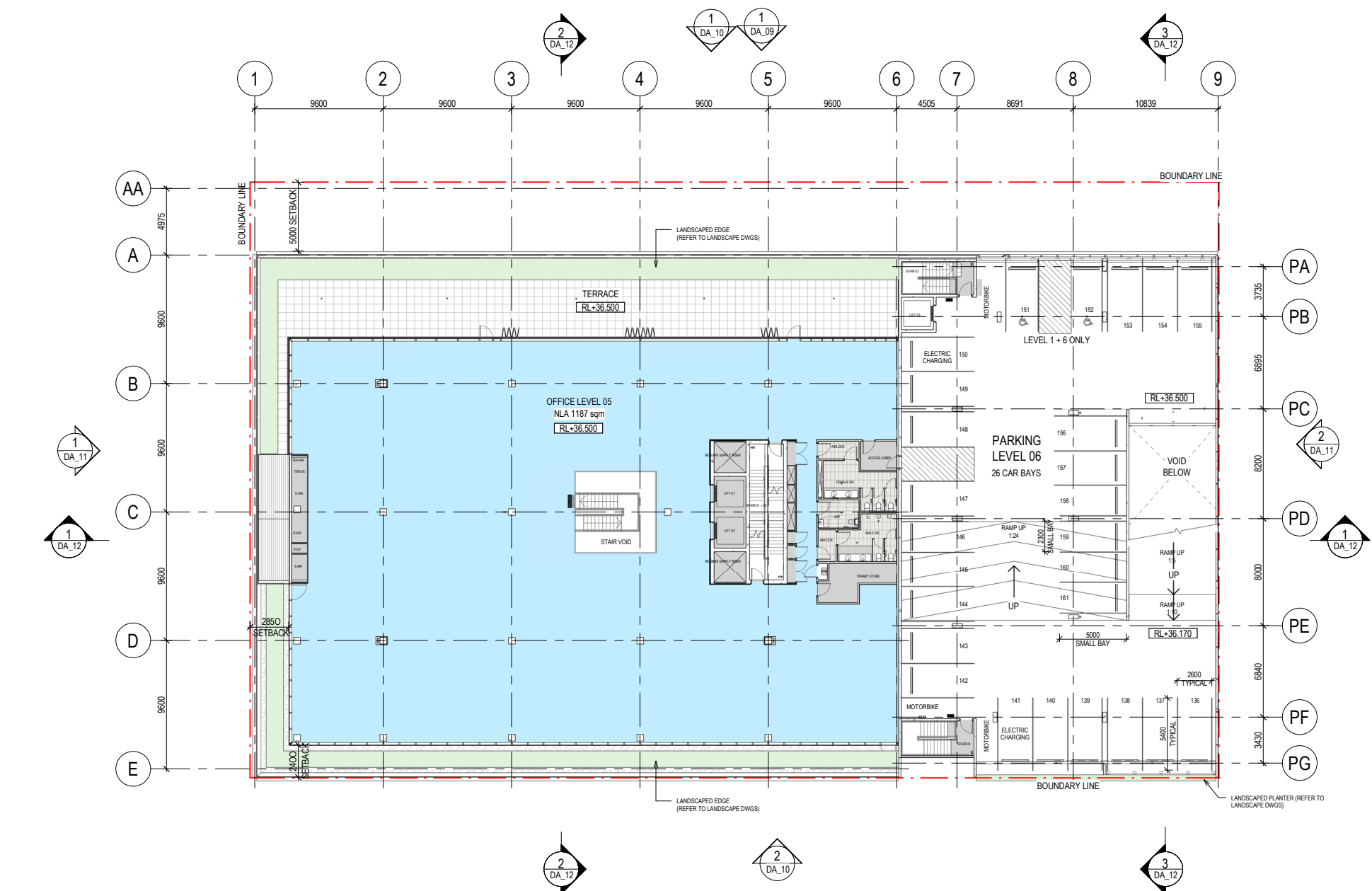
Project Name
LEEDERVILLE ABN

Drawing
DA_06
FOURTH FLOOR PLAN



HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION



1 FIFTH FLOOR PLAN
1:200

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |

Date
20/02/19
11/07/19
27/09/19
13/01/20

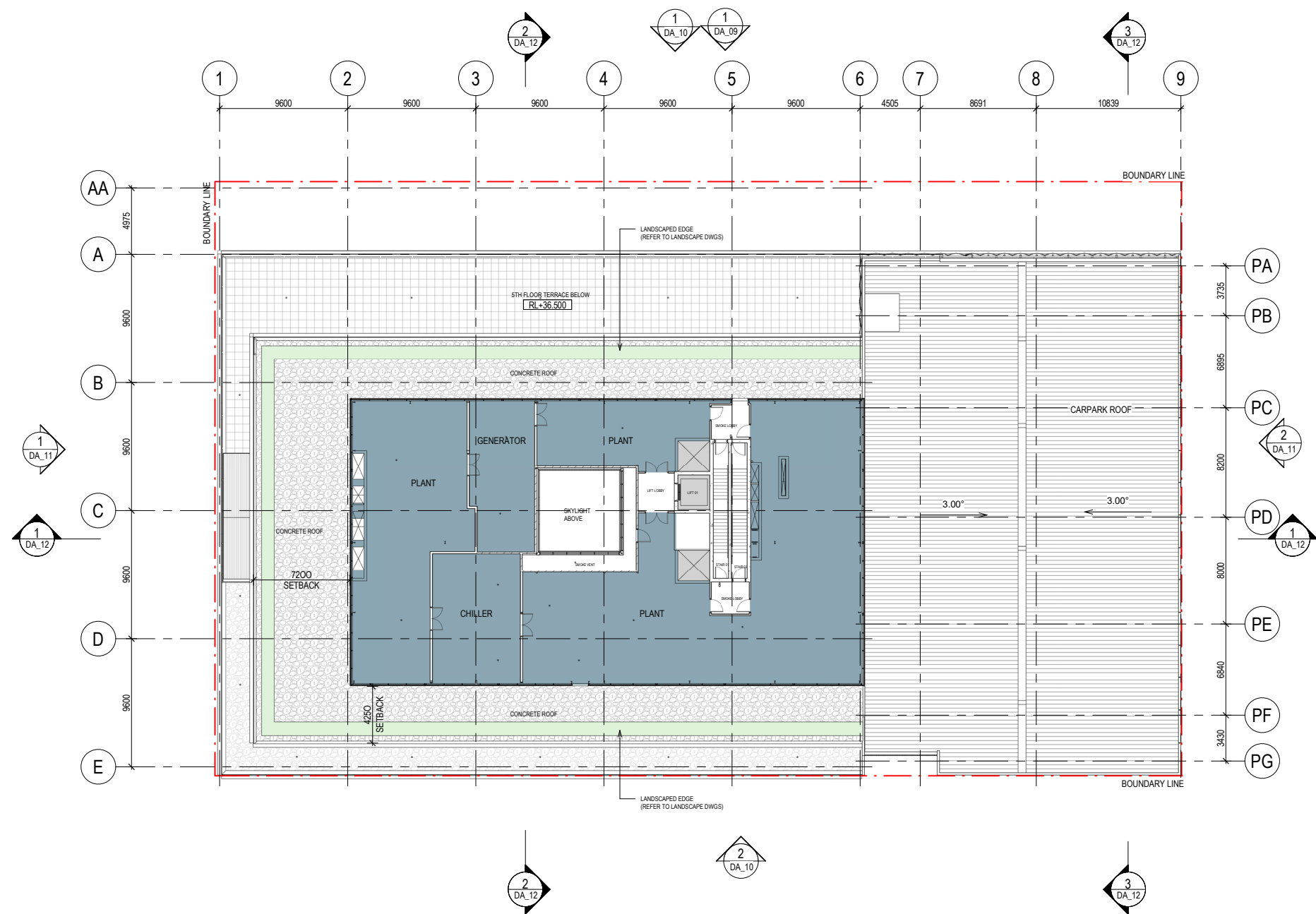
Scale
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1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE ABN

Drawing
DA_07
FIFTH FLOOR PLAN





1 SIXTH FLOOR PLAN (PLANT)
1 : 200

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION - AMENDMENTS |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |

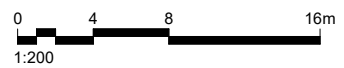
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27/09/19
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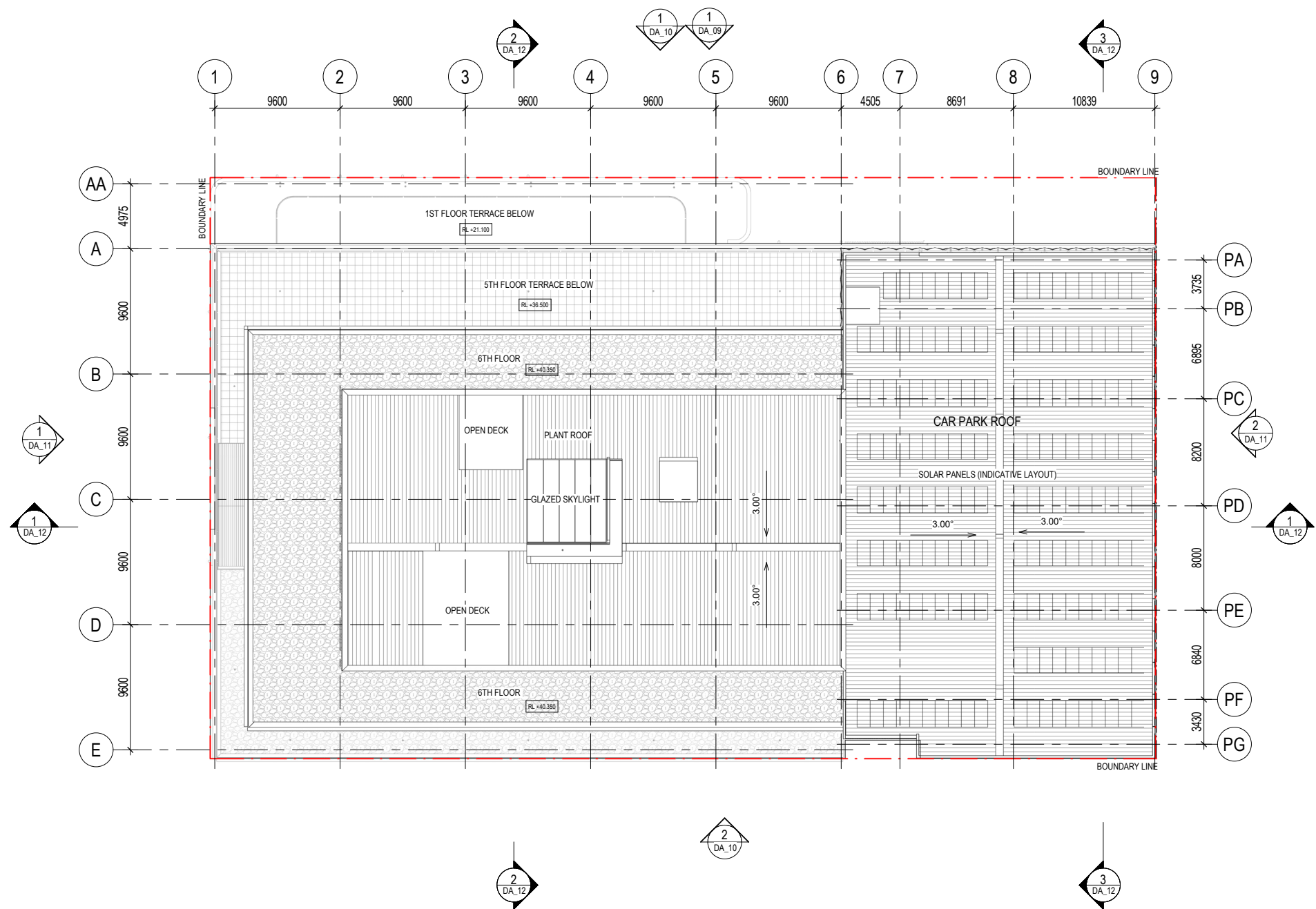
Scale
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Client
FJM

Project Name
LEEDERVILLE ABN

Drawing
DA_07.1
SIXTH FLOOR PLAN (PLANT)





1 ROOF PLAN
1:200

| Revision | Date |
|------------------------------|----------|
| A DA SUBMISSION | 20/02/19 |
| B DA SUBMISSION - AMENDMENTS | 11/07/19 |
| C DA SUBMISSION - AMENDMENTS | 27/09/19 |
| D DA SUBMISSION - AMENDMENTS | 11/11/19 |
| E DA SUBMISSION - AMENDMENTS | 13/01/20 |

Date
20/02/19
11/07/19
27/09/19
11/11/19
13/01/20

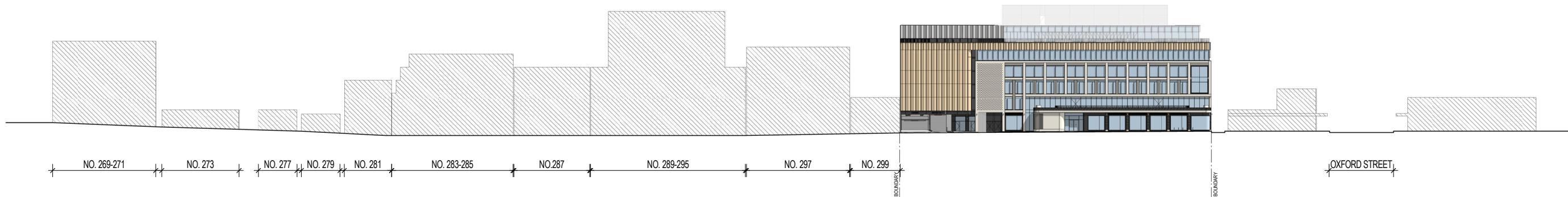
Scale
1:200 @ A1
1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE ABN

Drawing
DA_08
ROOF PLAN





1 CONTEXT ELEVATION - VINCENT STREET LOOKING SOUTH
1 : 500

| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |
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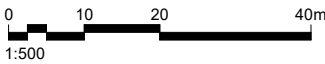
| Date |
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| 20/02/19 |
| 11/07/19 |
| 27/09/19 |
| 19/12/19 |
| 13/01/20 |

Scale
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1 : 1000 @ A3

Client
FJM

Project Name
LEEDERVILLE ABN

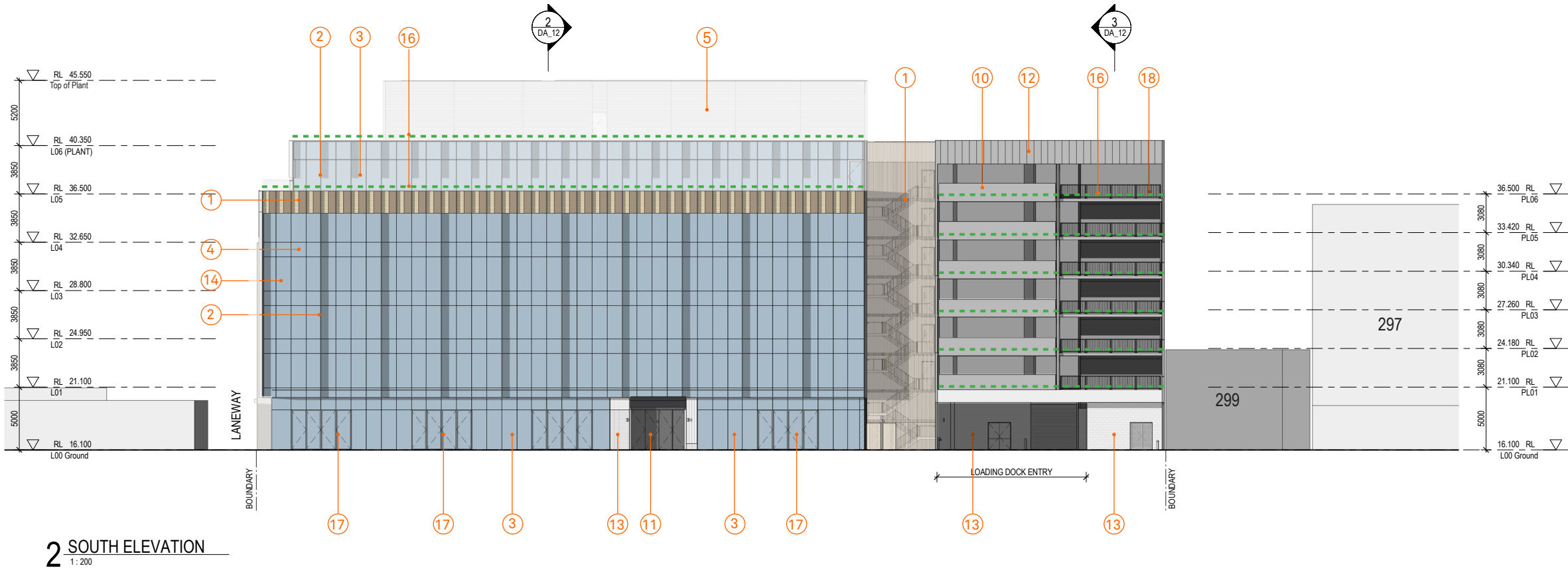
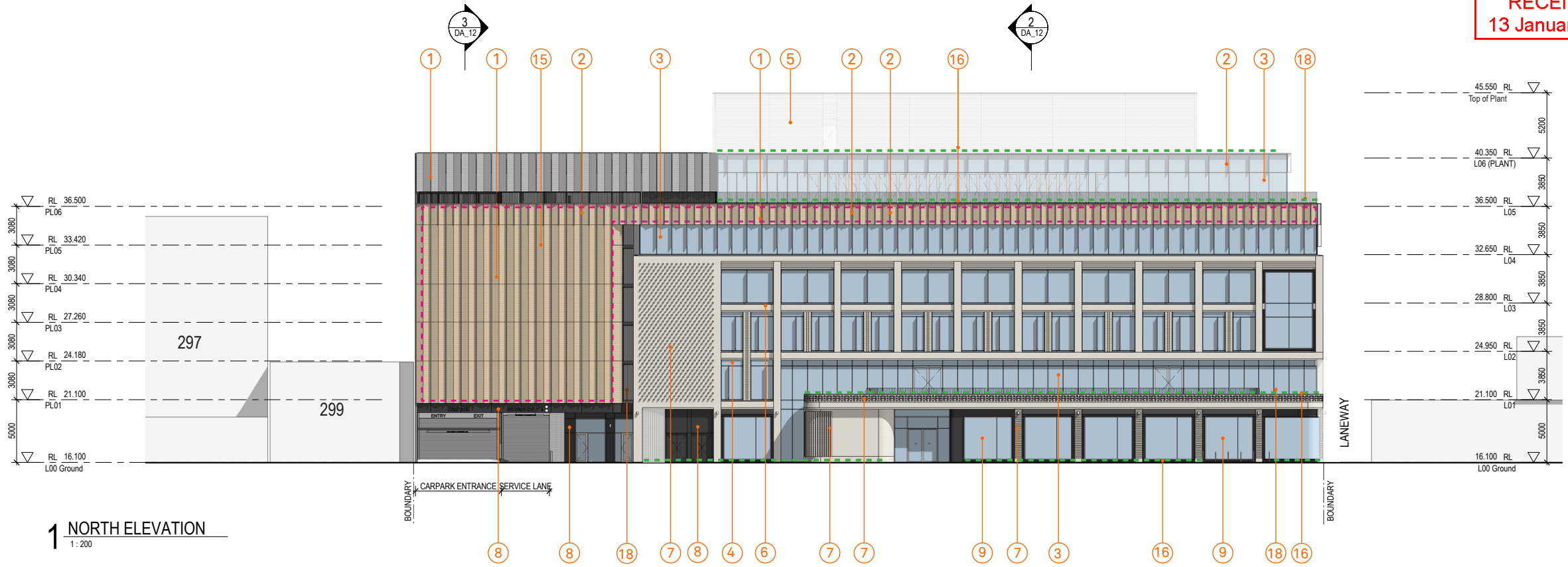
Drawing
DA_09
CONTEXT ELEVATION



LEGEND

- 1. Perforated metal panelling
- 2. Expressed vertical fins
- 3. Framed double glazed units
- 4. Glazed back painted spandrels
- 5. Louvred panels
- 6. Face brick
- 7. Face brick with expressed pattern
- 8. Metal panelling
- 9. Glazed bay window shopfronts with expressed metal surround
- 10. Off form concrete
- 11. Metal gates
- 12. Pre-cast concrete panelling
- 13. Concrete blockwork
- 14. Double glazed curtain walling system
- 15. Integrated artwork
- 16. Integrated landscape. Refer to Landscape drawings
- 17. Opening shopfronts
- 18. Metal balustrade

CITY OF VINCENT
RECEIVED
13 January 2020



| Revision | Date |
|------------------------------|----------|
| A DA SUBMISSION | 20/02/19 |
| B DA SUBMISSION - AMENDMENTS | 06/05/19 |
| C DA SUBMISSION - AMENDMENTS | 11/07/19 |
| D DA SUBMISSION - AMENDMENTS | 27/09/19 |
| E DA SUBMISSION - AMENDMENTS | 13/01/20 |

Date
20/02/19
06/05/19
11/07/19
27/09/19
13/01/20

Scale
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1 : 400 @ A3

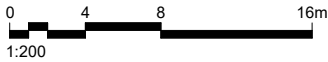
Client
FJM

Project Name
LEEDERVILLE ABN

Drawing
DA_10
ELEVATIONS

HASSELL

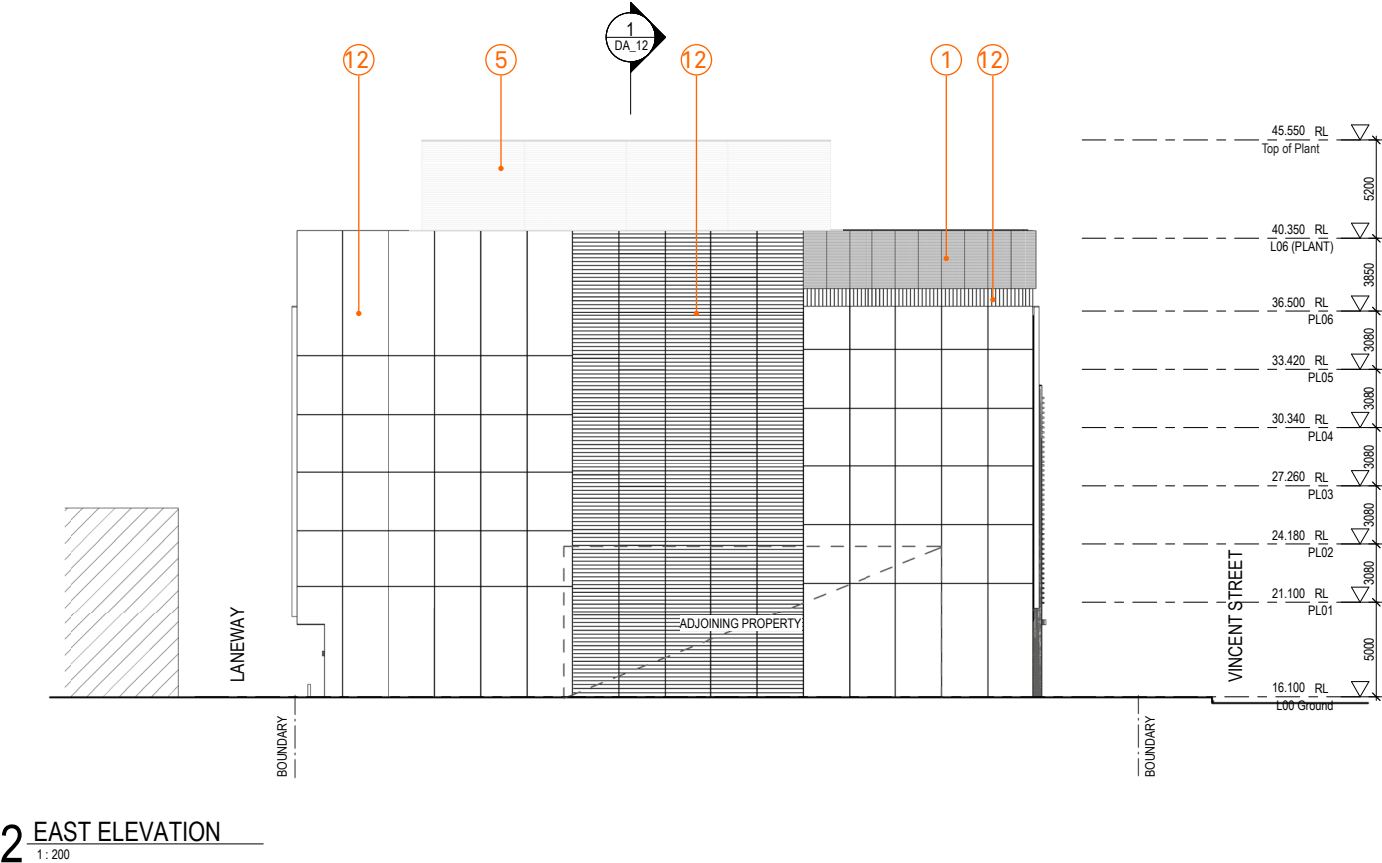
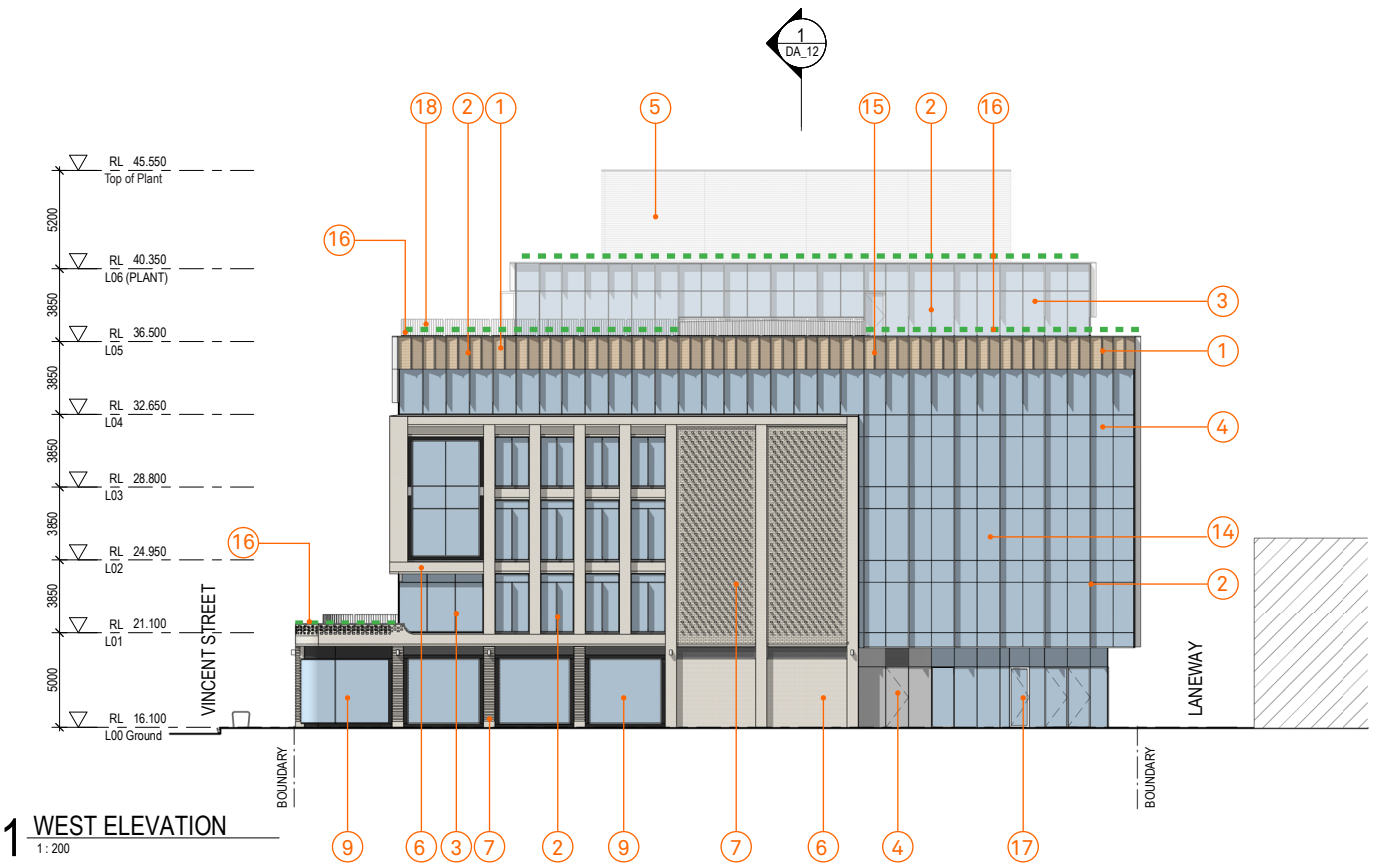
INDICATIVE ONLY - NOT FOR CONSTRUCTION



LEGEND

- 1. Perforated metal panelling
- 2. Expressed vertical fins
- 3. Framed double glazed units
- 4. Glazed back painted spandrels
- 5. Louvred panels
- 6. Face brick
- 7. Face brick with expressed pattern
- 8. Metal panelling
- 9. Glazed bay window shopfronts with expressed metal surround
- 10. Off form concrete
- 11. Metal gates
- 12. Pre-cast concrete panelling
- 13. Concrete blockwork
- 14. Double glazed curtain walling system
- 15. Integrated artwork
- 16. Integrated landscape. Refer to Landscape drawings
- 17. Opening shopfronts
- 18. Metal balustrade

CITY OF VINCENT
RECEIVED
13 January 2020



| Revision | |
|----------|----------------------------|
| A | DA SUBMISSION |
| B | DA SUBMISSION - AMENDMENTS |
| C | DA SUBMISSION - AMENDMENTS |
| D | DA SUBMISSION - AMENDMENTS |
| E | DA SUBMISSION - AMENDMENTS |

| Date | |
|----------|--|
| 20/02/19 | |
| 06/05/19 | |
| 11/07/19 | |
| 27/09/19 | |
| 13/01/20 | |

Scale
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1 : 400 @ A3

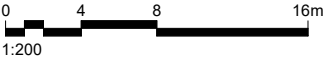
Client
FJM

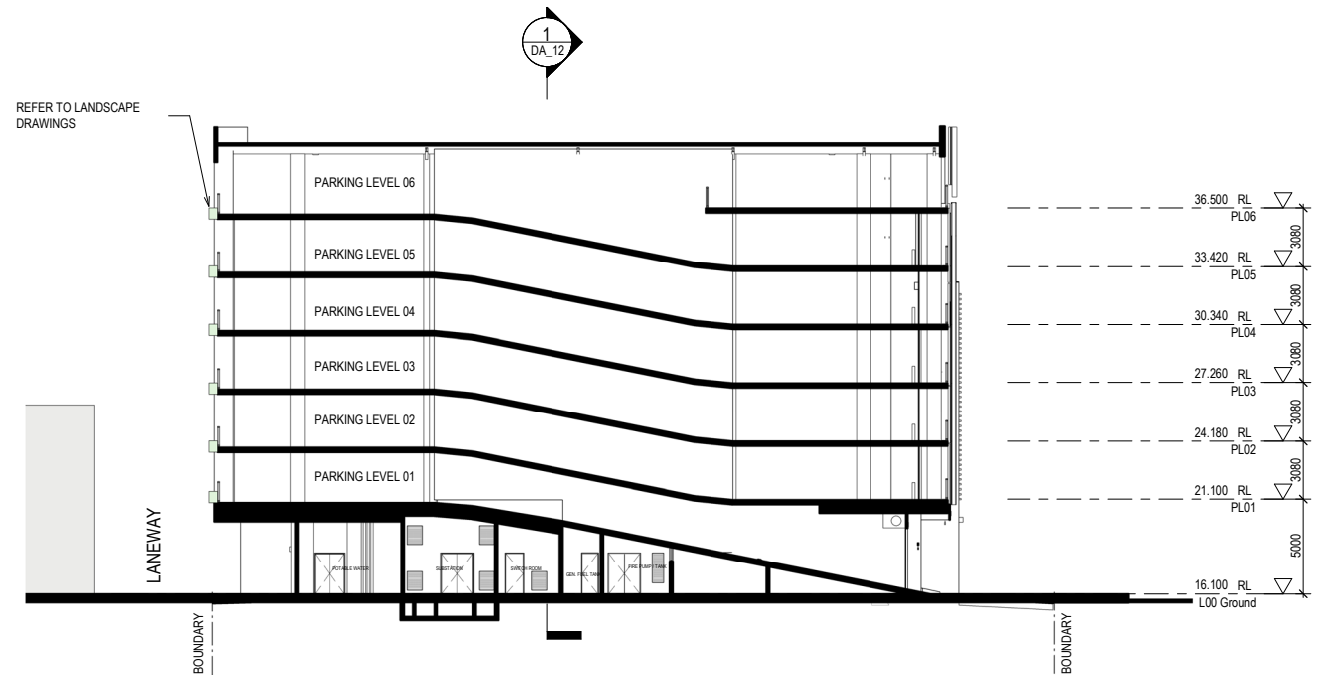
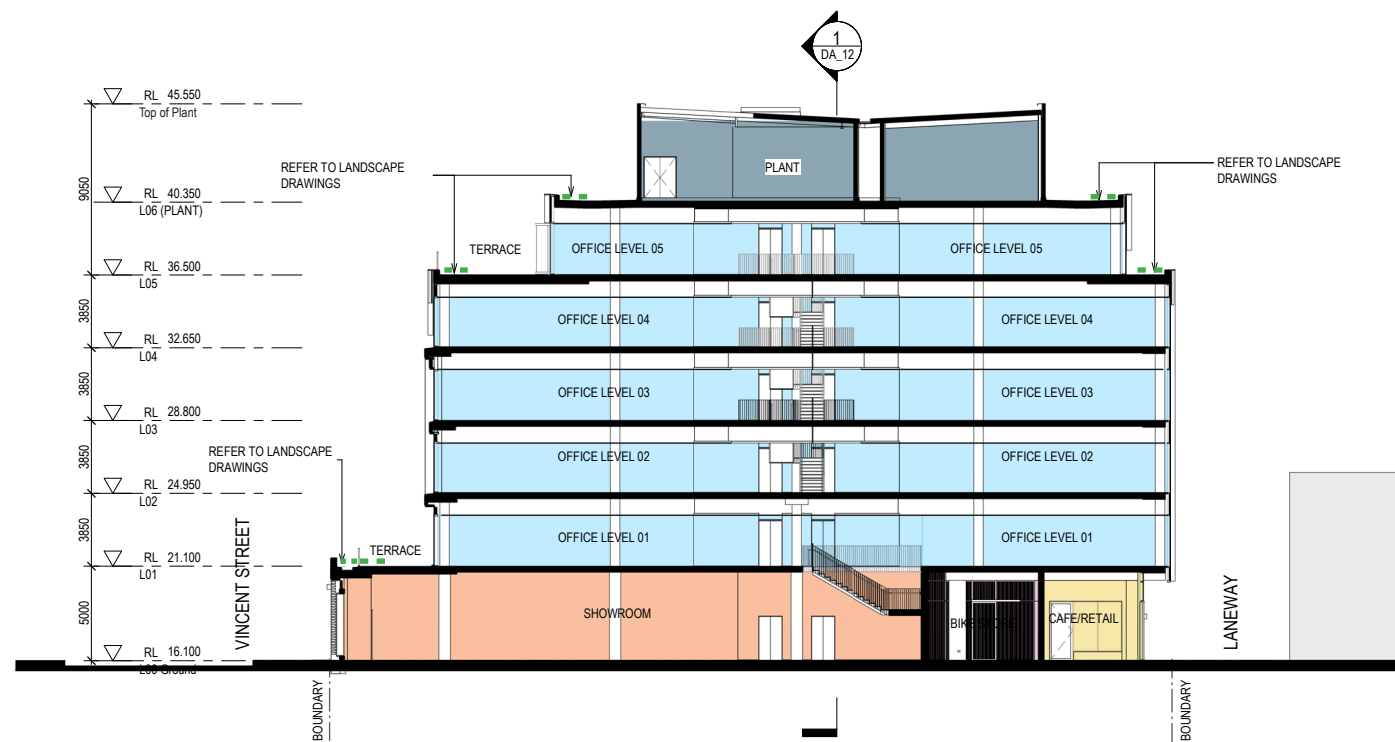
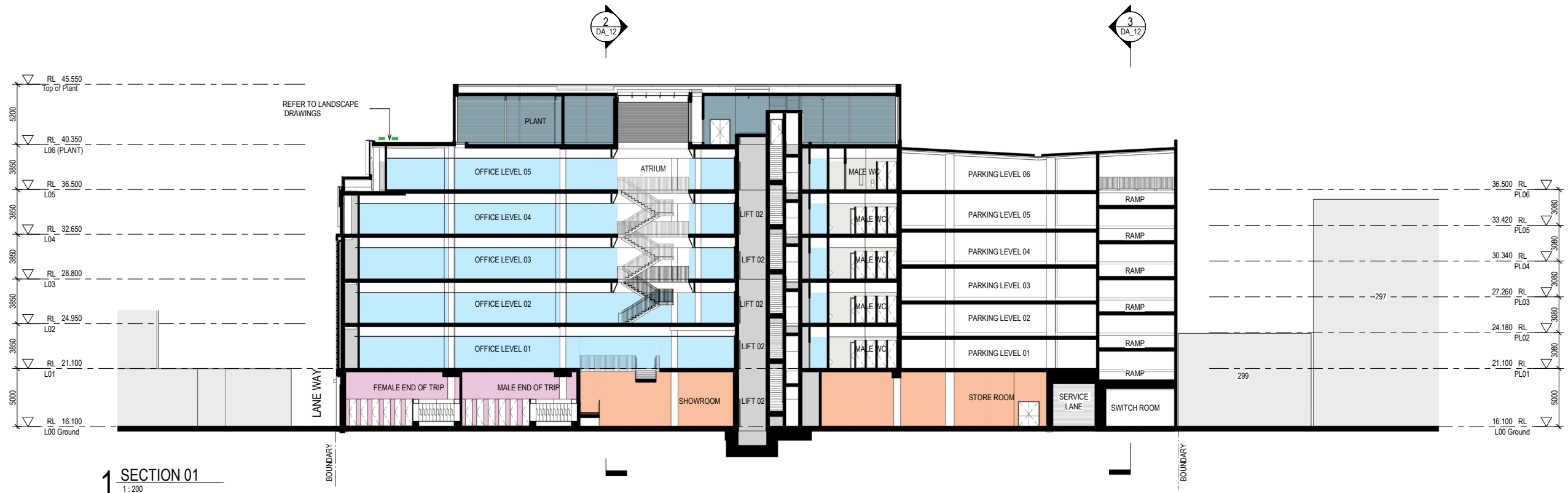
Project Name
LEEDERVILLE ABN

Drawing
DA_11
ELEVATIONS

HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION





| Revision | Date |
|------------------------------|----------|
| A DA SUBMISSION | 20/02/19 |
| B DA SUBMISSION - AMENDMENTS | 28/05/19 |
| C DA SUBMISSION - AMENDMENTS | 27/09/19 |
| D DA SUBMISSION - AMENDMENTS | 19/12/19 |
| E DA SUBMISSION - AMENDMENTS | 13/01/20 |

Date
20/02/19
28/05/19
27/09/19
19/12/19
13/01/20

Scale
1:200 @ A1
1:400 @ A3

Client
FJM

Project Name
LEEDERVILLE ABN

Drawing
DA_12
SECTIONS



HASSELL

INDICATIVE ONLY - NOT FOR CONSTRUCTION



CITY OF VINCENT

ATTACHMENT 4

DEVELOPMENT ASSESSMENT PANEL MEETING

Applicant Written Justification



element.

Your Ref: 5.2019.61
Our Ref: 18-661

17 December 2019

Chief Executive Officer
City of Vincent
PO Box 82
LEEDERVILLE WA 6902

Attention: Mitchell Hoad – Senior Urban Planner

Dear Mitch,

**LOT 30 (NO. 742) NEWCASTLE STREET AND LOT 8 (NO. 301) VINCENT STREET,
LEEDERVILLE ('LEEDERVILLE SQUARE') – DA AMENDMENT – REVISED PLANS**

Following feedback from the City's planning officers, and the City's Design Review Panel from its consideration of 11 December 2019, we hereby provide revised plans which seek to balance the considerations of the site context and constraints, with the objectives of the City's Built Form Local Planning Policy. We would respectfully request the City's consideration of this revised proposal and trust this enables the City to prepare a positive recommendation to the Metro West JDAP.

Context

The DA as originally submitted to the City (in February) included a nil setback to Vincent Street, with revised plans subsequently submitted to reflect the MRS road reserve which were then approved by the Metro West JDAP in August 2019. It was acknowledged by all parties at the time that the nil setback design was far more desirable for the Leederville town centre environment, despite the lack of in-ground landscaping in this location due to the absence of a street setback.

This proposed DA Amendment reintroduces the desired built edge to the street, and by its nature, the nil setback and the town centre environment provide a limited opportunity for in-ground landscaping.

Noting that the broader site of the proposed development also includes the Leederville Hotel/The Garden, this proposal should be viewed in the context of the landscaping and significant mature trees already provided to the rear of The Garden, immediately opposite the development site.

The proponent also intends to pursue broader development options at the Leederville Hotel/The Garden site that will provide the opportunity for further landscaping consideration. This includes a significant park component that is planned for the Leederville Hotel/The Garden, including deep soil area, that will considerably enhance the overall landscaping and amenity for the future ABN Group employees as occupants of the office building, as well as the Leederville Hotel/The Garden, surrounding neighbours and the broader Leederville town centre. The proposed development program at the Leederville Hotel/The Garden is planned to align with the site construction program for the office building.

LOT 30 (NO. 742) NEWCASTLE STREET AND LOT 8 (NO. 301) VINCENT STREET, LEEDERVILLE
(‘LEEDERVILLE SQUARE’) – DA AMENDMENT – REVISED PLANS

Revised Plans

Since submitting the DA Amendment to the City (in November), the following revised landscaping and public art offering is hereby proposed:

- *Ground Level – Vincent Street*

A total of 143sqm of landscaping is proposed on the ground level, with 78sqm of this being within the verge. This represents a balancing of the desire for a built edge to the street, appropriate for the town centre environment, with the provision of landscaping. This is considered to offer a tangible benefit to the public at large, being located in the pedestrian realm, augmenting the existing street trees being retained (and added to), and be consistent with the verge arrangement further east along Vincent Street (of street trees located within landscaping adjacent the curb). The final species selection will be to the City’s satisfaction.

In addition to Condition 8.1 (bullet point five) of the DAP approval, requiring two additional verge trees, the proponent is willing to accept an additional requirement via condition to remove and replace the existing verge tree at its cost, that we have recently been advised is in poor health (and would likely be removed and replaced by the City at its cost in any case).

- *Level 1 Roof Terrace*

The proposed building extension to the Vincent Street boundary is to be provided with a total 57sqm of landscaping on the Level 1 roof terrace. In addition to the ground level improvements, the landscaping to this roof terrace is considered to offer a positive amenity impact to the public realm, being located within a pedestrian’s typical field of vision, and also offering a more enjoyable space for future office occupants. By drawing out office occupants to the terrace, this will increase activation and opportunities for interaction between people on the terrace and the footpath, and passive surveillance more generally.

- *Southern Façade – Car Park Landscaping*

Landscaping to the southern façade of the car park has been reintroduced, of an area of approximately 23sqm. This comprises low level planting in 450mm wide and 8.5m long planter boxes located at the southern edge of the car park, for a total of 51 linear metres of planting.

- *Level 5 Roof Terrace*

This DA Amendment proposes a reduced amount of landscaping on the roof terrace, being the deletion of landscaping along the western and southern edges of roof terrace, totalling 44sqm. This has resulted from further consideration as part of detailed design, with the positive amenity impact of this landscaping, on an inaccessible roof space, being limited. This landscaping would not be visible to the public and would only be for the visual appreciation of the future office occupants, who will already be provided with enviable office views into the mature tree canopy on the neighbouring Leederville Hotel/Garden immediately to the south, and longer views across West Leederville and Lake Monger to the west.

In terms of ongoing building management, the need to install anchor points along the edge of the building to safely enable cleaning and maintenance of the facades, also led to the reconsideration of this landscaping.

This has been offset by a revised landscape offering to the northern/Vincent Street edge of the roof terrace with a combination of low level planter boxes and planter pots, offering the opportunity for shrub/ground cover planting, and small tree planting.

LOT 30 (NO. 742) NEWCASTLE STREET AND LOT 8 (NO. 301) VINCENT STREET, LEEDERVILLE
(‘LEEDERVILLE SQUARE’) – DA AMENDMENT – REVISED PLANS

- *Total Landscaped Area*

The proposal provides a total 267sqm of landscaped area.

- *Additional Public Art*

Condition 14.1 of the DAP approval requires a \$360,000 public art contribution, being 1% of the \$36 million development cost. The current public art proposal concept has been approved by the City of Vincent and comprises works to the Vincent Street (northern) elevation to a cost upwards of \$360,000.

This is proposed to be extended by introducing elements of public art to the western and southern elevations, as an additional public art offering. The specific location of the extended concept and the overall concept is currently being developed by the artist in consultation with the proponent and art consultant.

Broadly, the approved proposal comprises a lighting-based art work, that will be illuminated (to a variable extent) throughout the 24 hour period, so by its nature will offer illumination and be a source of visual interest to the public realm. If this concept is extended it will offer a particular benefit to the western and southern elevations, in terms of illuminating this neighbouring building back of house area, and the laneway, respectively, and offering viewing opportunities from afar.

Noting the feedback from the City that an illuminated artwork would be predominantly appreciable only at night, the proponent is therefore considering tangible aspects of the extended artwork that are not reliant on illumination, so as to maximise the public benefit offered by the artwork during daylight hours. This level of detail can appropriately be determined to the City’s satisfaction via the existing Conditions 14.1 and 14.2.

Whilst acknowledging that public art and landscaping are separate requirements of the City’s planning framework, consideration of this additional public art offering, over and above the policy requirement, and being strategically placed on-structure, in light of the revised landscaping proposal is respectfully requested.

The nature of this public art concept will offer illumination, visual interest, and the perception of public safety throughout the 24 hour period, benefiting the immediate locality.

- *Ground Level Landscaping – Western and Southern sides*

Condition 8.1 (bullet points three and four) of the DAP approval require the removal of the originally proposed ground level landscaping to the western and southern sides of the development. It is considered that these landscaping components could be successfully implemented, notwithstanding the City’s requirements that they be removed.

City of Vincent Built Form Local Planning Policy Justification

The City’s report to the August DAP meeting supported the proposed building height, and noted the provision of landscaping to the “*Vincent Street frontage, around the perimeter of the sixth storey, and in the form of green walls on both the western and southern facades to soften the built form edge of the development when viewed from Vincent, Oxford and Newcastle Streets.*”

The revised plans enclosed provide:

- Additional landscaping to the Vincent Street frontage that is predominantly within the verge for maximum public appreciation and benefit;
- Additional on-structure landscaping in the form of the Level 1 Roof Terrace;
- Maintain the sixth storey/Level 5 Roof Terrace to the northern edge which is most appreciable from the surrounding streets in comparison to the omission of the originally approved western and southern edges; and

LOT 30 (NO. 742) NEWCASTLE STREET AND LOT 8 (NO. 301) VINCENT STREET, LEEDERVILLE
(‘LEEDERVILLE SQUARE’) – DA AMENDMENT – REVISED PLANS

- Maintain the “green wall” of the southern elevation to the car park component, noting that the western elevation “green wall” was never approved.

This revised landscaping proposal still achieves the desired “mitigation” of the proposed development and its height variation, particularly noting the ground level extension, which provides a previously absent articulation to the built form, and a tiered or cascading landscaping when the Vincent Street verge/Ground Level and Level 1 Roof Terrace landscaping components are viewed together, eg. from a pedestrian perspective opposite the site.

The proposal is justified against the relevant Element Objectives of the City’s Built Form Local Planning Policy (including the proposed amendments) as follows:

O1.1.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.

O1.1.2 Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.

O1.1.7 Development incorporates articulated roof design.

O1.2.1 Development which incorporates design elements that reduce the impact of building bulk.

O1.2.4 Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.

O1.2.5 The setback of the development from the street reinforces and/or complements the character of the street.

The revised proposal comprises a ground level extension, resulting in an articulated built form in comparison to the currently approved design which maintains a singular setback to Vincent Street. The ground level extension provides a human scale to the building, based on pedestrians primarily perceiving buildings within their typical field of vision, which is within a ground level height. The ground level extension will draw a pedestrian’s focus, thereby reducing the perceived visual impact of the upper building levels located behind.

It is also noted that landscaping was only one of the matters considered by the City in supporting the building height variation, and arguably the range of building heights recently approved in the vicinity, and the town centre context, should be afforded more weight (than landscaping) as rationale for the support of the building height as has been approved on the site.

With regard to Objective O1.2.4 and Objective O1.2.5 (of the proposed amended Policy), consideration against these two objectives should be balanced. As the proposed ground floor extension is consistent with the Acceptable Outcome and desired built form for town centres, by having a nil setback, this therefore reinforces the character of Vincent Street (proximate to the Oxford Street intersection). Whilst this reduces the opportunities for street setback area landscaping, landscaping has still been achieved immediately to the east of the ground floor extension, resulting in a better streetscape outcome through the verge landscaping now proposed.

The building also provides generally nil setbacks to the side and rear boundaries (notwithstanding the RoW widening), which by its nature limits the opportunity for in-ground landscaping, an outcome which is considered appropriate for the town centre environment.

With reference to the following Tree Canopy and Deep Soil Areas Element Objectives of the Policy, the following observations are made:

O1.5.3 The provision of landscaping that will make an effective and demonstrated contribution to the City’s green canopy to reduce the impact of the urban heat island effect.

LOT 30 (NO. 742) NEWCASTLE STREET AND LOT 8 (NO. 301) VINCENT STREET, LEEDERVILLE
(‘LEEDERVILLE SQUARE’) – DA AMENDMENT – REVISED PLANS

O1.5.4 Development that offsets the impact of removing existing trees.

O1.5.6 Development includes deep soil areas, or other infrastructure to support planting on structure, with sufficient area and volume to sustain healthy plant and tree growth.

The provision of two street trees (net increase of one), the verge landscaping proposed, and the Level 1 Roof Terrace landscaping, will be most readily appreciable by pedestrians in the public realm, as distinct from on-structure landscaping at the upper levels of the building (eg. the Level 5 Roof Terrace). In combination this will provide a positive contribution to the City’s green canopy in the town centre

The landscaping proposed by this DA Amendment has been formulated having regard to the town centre environment, and balancing the somewhat competing desires of having a consistent active built edge to the street boundary, with the practical implications of providing deep soil area, along with planting on-structure.

Concluding Comment

In summary, the revised landscaping proposal is closer to the current DAP approval than that originally submitted in November, and also includes the positive addition of the ground floor extension, which provides for a more desirable, active and engaging pedestrian environment, as well as an articulation to the currently approved built form. The City’s support for the proposal is therefore respectfully requested.

Should you have any queries or require clarification on the above, please do not hesitate to

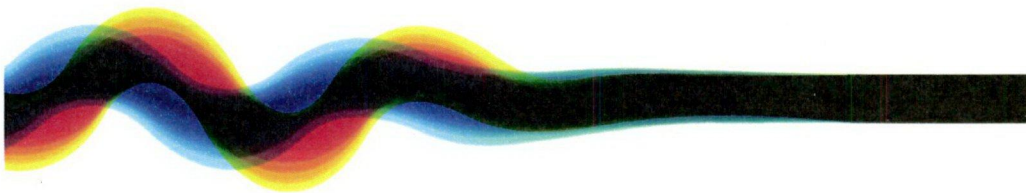
9 REDACTED FOR PRIVACY PURPOSES

Yours sincerely

element

REDACTED FOR PRIVACY PURPOSES

Principal – Planning



element.

LG Ref: 5.2019.61.1
DAP Ref: DAP/19/01581
Our Ref: 18-661



1 November 2019

Chief Executive Officer
City of Vincent
PO Box 82
LEEDERVILLE WA 6902

Attention: Mitchell Hoad, Senior Urban Planner

Dear Mitchell,

**LOT 30 (NO. 742) NEWCASTLE STREET AND LOT 8 (NO. 301) VINCENT STREET,
LEEDERVILLE ('LEEDERVILLE SQUARE') - DEVELOPMENT APPLICATION
AMENDMENT**

Further to our recent discussions regarding the above site, **element**, on behalf of the Leederville Hotel Development Syndicate III, is pleased to submit this application to amend the development approval granted by the Metro West Joint Development Assessment Panel (DAP) in August 2019 for a seven storey commercial development at the abovementioned site. This application is made under Regulation 17(1)(b) and (c) of the *Planning and Development (Development Assessment Panels) Regulations 2011*, for determination by the DAP.

In accordance with the City's requirements, please find enclosed:

1. Signed application forms including the City's, MRS Form 1 and DAP Form 2;
2. A copy of the Certificates of Title;
3. A copy of the Site Feature Survey;
4. A set of amended architectural drawings including Site Plan, Floors Plans, Elevations and Sections;
5. An amended Landscape Report and letter from transport consultant, Flyt; and
6. A cheque in favour of the City of Vincent for the amount of \$536, being the statutory application fee to amend a development approval (including DAP fee).

Background

On 19 August 2019, the Metro West Joint DAP granted conditional approval for a 'seven storey commercial development' at the subject site (DAP Ref: DAP/19/01581), comprising ground floor showroom and retail/café uses and upper level office floor space. The approved development excluded any built form within the Metropolitan Region Scheme (MRS)'s Other Regional Road (ORR) reservation that encroaches into the site.

In September 2019, the Western Australian Planning Commission (WAPC) resolved to initiate a minor amendment to the MRS (Ref: 1359/57) to transfer portions of Vincent Street in Leederville from the ORR reservation to the Urban zone in order to rationalise the road reservation to the existing constructed road footprint. Once approved, the minor MRS amendment will remove the ORR reservation from the site, leaving the site entirely zoned Urban. The MRS amendment is currently being advertised, closing 8 November 2019, and is expected to be considered by the WAPC at its meeting scheduled for 11 December 2019.

In response to the progression of the minor MRS amendment, this application seeks to amend the development approval by extending the ground floor showroom towards Vincent Street (into the current ORR reservation).

It is intended for this application to be determined by the DAP, with a Responsible Authority Report (RAR) prepared by the City under both the City's LPS 2 and the MRS, once the minor MRS amendment to remove the ORR reservation is published in the Government Gazette, at which point the site will be wholly zoned Urban. We note the approved development was advertised with a nil setback.

We are of the view that this can reasonably and appropriately be achieved, via setting and extending the RAR due date as required, to ensure this due date occurs after the MRS amendment approval being published in the Government Gazette.

Proposed Modifications

This application seeks to amend the approved development through the following key modifications:

- a) Extending the ground floor showroom northward to the Vincent Street boundary and removal of the awning;
- b) Relocating landscaped space from the ground to first floor and the creation of a terrace; and
- c) Providing five additional car parking bays.

Modifications are also requested to the following condition of approval:

- Condition 9.3 detachable awning (deletion as awning is no longer proposed).

No modifications are proposed (or required as a result of the proposed amendments) to the approved building height and setbacks to the east, south and west, waste management, end of trip provision, acoustics or sustainability achievement targets.

Please refer to the attached plans showing the proposed modifications, with the exception of the main ground floor showroom extension, in red amendment clouds.

Planning Assessment and Discussion

The following sections provide a planning assessment of the proposed modifications only and how they continue to satisfy the relevant planning framework since the original approval was granted in August 2019. The relevant matters are discussed thereafter as necessary.

| Element | Approved | Proposed |
|------------------------|--|--|
| Vincent Street setback | 5 metres | Nil |
| Showroom NLA | 1,025sqm | 1,214sqm |
| Office NLA | 7,820sqm | 7,788sqm |
| Landscaping | 472sqm DSZ 57sqm on structure 292sqm landscape pavements | 48sqm DSZ 112sqm on structure 513sqm Landscape Pavements |
| Car parking total | 156 | 161 |

Vincent Street Setback

Complies with the intent of LPP 7.1.1 which advocates a nil street setback to the Vincent Street. The Leederville Masterplan indicates setbacks to Vincent Street are subject to Western Power's comments and may have nil setbacks to all other boundaries.

Landscaping

Please refer to the enclosed landscape report prepared by ASPECT Studios as an update to the report that accompanied the original development application. The amendment proposes a reduction to the overall area of landscaping on site, partly resulting from modifications to the building design. Extension of the ground floor showroom will, however, provide for a greater activated street frontage resulting in an improved streetscape outcome for the Town Centre. An extended first floor terrace above the showroom will also improve passive surveillance outcomes to the street. The area of landscaping proposed on the building has been increased and features irrigated planter boxes on the first floor and roof terrace, both of which are visible from the street and will positively contribute the external building aesthetics.

Car Parking and Traffic

The proposed modifications increase car parking bays from 156 to 161 bays comprised of:

- One additional general parking bay on Level 3; and
- Four additional parking bays on Level 6.

Car parking continues to comply with policy requirements. In respect of the overall distribution of bays, there will be one additional bay available for the general public during the hours that the facility reverts to public use, with four additional bays provided for the commercial land use on the site. The volume of bays for the commercial uses is within the allowed (maximum) range required for the proposed development.

Please refer to the enclosed letter prepared by Flyt as an update to the Transport Impact Statement that accompanied the original development application.

Concluding Comments

The proposed modifications are not considered to alter the essence of the originally approved development and are intended to improve streetscape amenity and pedestrian experience in response to the progression of the minor MRS amendment to remove the ORR reservation from the subject site. This is considered appropriate as a Regulation 17 minor amendment application as per Reg. 17(1)(c) which states an owner may apply "to amend an aspect of the development approved which, if amended, would not substantially change the development approved", as the proposed changes do not "substantially change" the approved development.

The timing for construction of the development, as amended, is now critical. In light of the above, we look forward to the City's favourable consideration and progression of this application at its

City of Vincent

LOT 30 (NO. 742) NEWCASTLE STREET AND LOT 8 (NO. 301) VINCENT STREET,
LEEDERVILLE ('LEEDERVILLE SQUARE') – DEVELOPMENT APPLICATION AMENDMENT

element.

earliest convenience, and positive recommendation to the DAP immediately following the gazettal of the MRS amendment.

We would be pleased to discuss any aspects of the proposal with you during your consideration. Should you have any queries or require clarification on any matters please do not hesitate to contact

REDACTED FOR PRIVACY PURPOSES

Yours sincerely

element

REDACTED FOR PRIVACY PURPOSES

Senior Consultant - Planner

1 October 2019

REDACTED FOR PRIVACY PURPOSES



Leederville Square – update to layout and parking allocation

In February 2019 Flyt prepared a Transport Statement (TS) in support of the proposed Leederville Square development, located at Lot 30 (742) Newcastle Street, and Lot 8 (301) Vincent Street, Leederville. The Development Application was subsequently approved through Metro West JDAP on 19 August 2019.

Subsequent to the application, minor revisions have been undertaken to the floor plans of two levels within the structure, resulting in a proposed alteration to the total provision of parking bays from 156 to 161 in total.

This letter provides an update to the Transport Statement to address the proposed changes and provides the Planning Officers at the City of Vincent with the relevant information to assess the impacts of the proposed changes.

Summary of Proposed Amendment

The proposed amendment which alters details within the Transport Statement include:

- Car parking bays increased from 156 to 161 bays comprised of:
 - One additional general parking bay on Level 3
 - Four additional parking bays on Level 6.

In Section 6.2.2 of the original Transport Statement two methodologies were used for estimating the trip generation of the development; the first based on rates from the South Perth Activity Centre and the second based on 70% of parking bays generating a trip in the peak hour.

These calculations have been completed with the updated parking and land use numbers. Table 1 compares the original report and those calculated with the updated parking and land use numbers.

Table 1 Comparison of forecast peak hour traffic generated by site

| Methodology | AM Peak Hour Trips | | | PM Peak Hour Trips | | |
|----------------------------|--------------------|-----|-------|--------------------|-----|-------|
| | In | Out | Total | In | Out | Total |
| DA Report – methodology 1 | 83 | 10 | 93 | 0 (-14) | 81 | 81 |
| DA Report – methodology 2 | 79 | 10 | 90 | 0 (-16) | 72 | 72 |
| Updated DA – methodology 1 | 83 | 10 | 93 | 0 (-14) | 81 | 81 |
| Updated DA – methodology 2 | 86 | 10 | 96 | 0 (-16) | 74 | 74 |

Our Reference: 81113-434-FLYT-LET-0010

1 October 2019

Alene Sullivan
FJM Property
PO Box 879
SUBIACO WA 6904

Dear Alene

Leederville Square – update to layout and parking allocation

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| DA Report – methodology 2 | 79 | 10 | 90 | 0 (-16) | 72 | 72 |
| Updated DA – methodology 1 | 83 | 10 | 93 | 0 (-14) | 81 | 81 |
| Updated DA – methodology 2 | 86 | 10 | 96 | 0 (-16) | 74 | 74 |



There has been very little change to the forecast peak hour trips, therefore the discussion of traffic impacts and conclusions found in Section 6.3 of original report are still valid.

In respect of the overall distribution of bays, there will be one additional bay available for the general public during the hours that the facility reverts to public use, with four additional bays provided for the commercial land use on the site. The volume of bays for the commercial uses is within the allowed range required for the proposed development.

Kind Regards

REDACTED FOR PRIVACY PURPOSES



CITY OF VINCENT

ATTACHMENT 5

DEVELOPMENT ASSESSMENT PANEL MEETING

Landscape DA Report

Leederville Square

Landscape DA Report

January 2020

Contents

Prepared by:

ASPECT Studios
L1 / 191 St Georges Tce
Perth, WA, 6000

- 01. Context
- 02. Landscape Approach and Principles
- 03. Landscape Concept & Description
- 04. Landscape Plans & Elevations
- 05. Landscape Planting Palettes

Document Control:

Job Number: P19006
File Name: P19005_Leederville Sq - Landscape DA_200107
Revision: E
Date: 09.01.2020

1.0 Context

Contextual Design Response

This document has been prepared by ASPECT Studios for FJM Property for the Leederville Square Development.

The proposed development site is located on Vincent Street, within the heart of Leederville's Town Centre. The application boundary includes a range of landscape conditions that interface with the public realm: physically at ground level and visually via green walls and facades. It also includes a roof terrace that provide outdoor amenity for the building users including outdoor meeting spaces, areas to gather and socialise, and quieter spaces for respite and solitude.

Consideration has been given to interfacing with the Vincent Street verge treatments and the surrounding laneways which are an integral part of the urban fabric and identity of Leederville's Town Centre.



2.0 Landscape Approach and Principles

Landscape Approach

The design outlined within this report is intended to create an attractive and high quality landscape for the amenity of workers, visitors, local residents and the broader community.

The landscape architectural design aims to create a contemporary, functional and aesthetically pleasing landscape that seamlessly blends with the built form. The following general principles form the landscape approach to the site:

- Use high quality landscape design to integrate the proposed development with the surrounding streets, laneways and neighborhood;
- Develop a legible network of spaces that fully integrate with and connect to the surrounding context;
- Create spaces with varying characters and identities;
- Design spaces that will become activated and vital;
- Ensure that communal open spaces have access to sun light whilst also providing adequate shade and wind protection;
- Maximise opportunities for social interaction through arrangement of seating and views;
- Create a robust landscape made from simple materials, proven planting and bold forms that can be managed and maintained;
- Provide clear and integrated access;

The design of landscape considers the architectural design by HASSELL Architects in both concept and materiality, with the intention of creating a cohesive transition from internal to external spaces.

Outdoor spaces that support the needs of the buildings users including outdoor meetings, communal gathering and socialising, intimate spaces for small groups or individuals, green rooms, elevated lookout from the roof garden to the surrounding environment.



2.0 Landscape Approach and Principles

Contextual Design Response

The evergreen trees of the locale, both native and exotic, provide all year round amenity and contrasting colour throughout the seasons. The proposed design of public and private areas of the development seek to continue this eclectic character by providing amenity and relief as well as visual and textural interest.

The proposed design creates its own immersive landscape vernacular with an emphasis on low maintenance, environmentally appropriate planting and durable hard landscape elements.

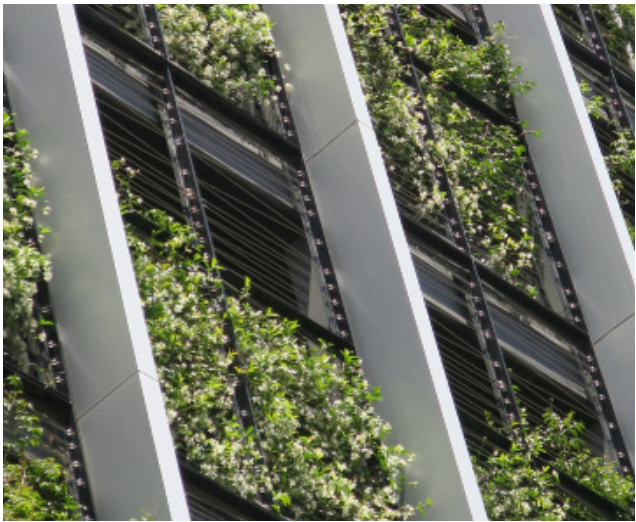
The landscape design intent is to celebrate and engage with Leederville's green canopy and realise the opportunity to visually extend the green canopy of the adjacent Beer garden - "The Garden"

Streetscape and Public Realm interface

A series of streetscapes treatments and spaces have been provided within the development, each carefully considered with an emphasis on its relationship to its surrounding context. Within this framework, each space offers its own particular form of transition and amenity that will encourage safe use and access for residents and the general public.

Function and Amenity

Outdoor spaces are provided to the First Floor and Roof Terrace that support the needs of the buildings users including: Outdoor meetings, communal gathering and socialising, Intimate spaces for small groups or individuals, green rooms as well as views from the roof gardens elevated outlook over the surrounding areas.



3.0 Landscape Concept & Description

Materials and Furniture

A refined palette of robust and low maintenance materials are proposed that are in keeping with the project context and Architecture. The proposed landscape scheme will use a palette of high quality materials, selected to reinforce the identity of the spaces.

The fixed furniture elements are designed and organised to work with the loose alfresco furniture and encourage a broad range of social interactions. Generously dimensioned furniture elements are placed strategically at key locations to distinguish the site as a welcoming and social place. The Roof Garden is designed as a singular open space offering flexibility of use.

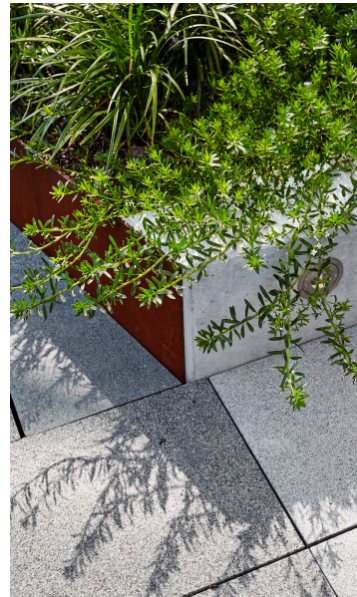
The design of the furniture reinforces the overall design concept and relationship to the architecture. The furniture elements share a common material language and robust detailing.

Planting Strategy

The planting scheme for the project is designed to unify spaces and routes, frame views and highlight desire lines and focal points whilst integrating with the structural constraints of the development. The planting design will be developed to create year round interest and will include a mixture of trees and shrubs to ensure year-round structure as well as seasonal highlights.

The planting is intended to:

- Use landscape elegantly to create identity and maximise amenity for the building occupants and the broader precinct.
- Maintain and frame open spaces for alfresco and activation;
- Incorporate soil volume and irrigation within the constraints of the site;
- Be robust, suited to the available aspect, work with ambient wind levels and minimise water use.
- Select appropriate plants and trees with low watering, and low maintenance requirements



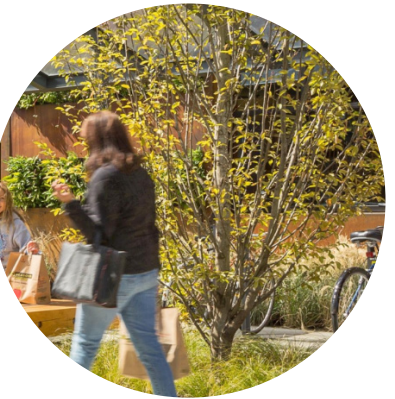
3.0 Landscape Concept & Description

Given the highly urban context of the development a ‘hybrid’ approach has been taken to achieving the provision of landscape amenity. The landscape design consists of deep soil zones (as defined by City of Vincent Planning and Building Policy) and planting on structure (As defined in DesignWA) to create a landscape approach which is respectful of the surrounding urban context and architectural form.

The project requires the replacement of one Melaleuca quinquenervia street tree. This tree will be planted further west along Vincent Street between existing street trees. An additional Melaleuca quinquenervia will also be planted along Vincent Street. An existng street tree currently in poor condition will be replaced.

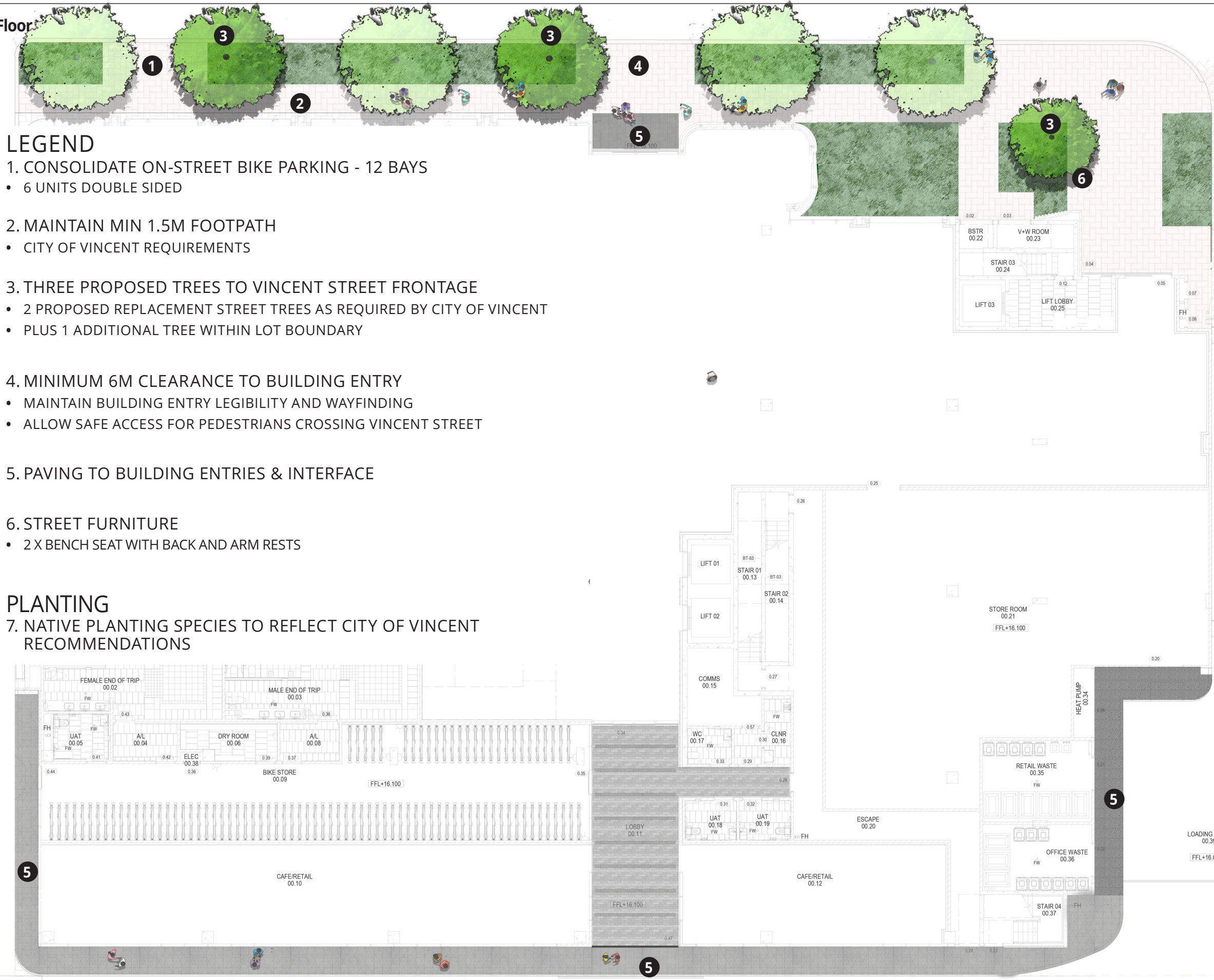
The table below summaries the extent of landscaping provided across the various levels of the building.

| Level | Planting on Structure (m2) | Deep Soil (m2) | Total Landscaping (m2) |
|---------|----------------------------|----------------|------------------------|
| Ground | 0 | 143 | 143 |
| Level 1 | 180 | 0 | 180 |
| Level 2 | 9 | 0 | 9 |
| Level 3 | 9 | 0 | 9 |
| Level 4 | 9 | 0 | 9 |
| Level 5 | 184 | 0 | 184 |
| Level 6 | 109 | 0 | 109 |
| | 500 | 143 | 643 |



4.0 Landscape Plans & Elevations

Ground Floor



LEGEND

1. CONSOLIDATE ON-STREET BIKE PARKING - 12 BAYS
 - 6 UNITS DOUBLE SIDED
2. MAINTAIN MIN 1.5M FOOTPATH
 - CITY OF VINCENT REQUIREMENTS
3. THREE PROPOSED TREES TO VINCENT STREET FRONTAGE
 - 2 PROPOSED REPLACEMENT STREET TREES AS REQUIRED BY CITY OF VINCENT
 - PLUS 1 ADDITIONAL TREE WITHIN LOT BOUNDARY
4. MINIMUM 6M CLEARANCE TO BUILDING ENTRY
 - MAINTAIN BUILDING ENTRY LEGIBILITY AND WAYFINDING
 - ALLOW SAFE ACCESS FOR PEDESTRIANS CROSSING VINCENT STREET
5. PAVING TO BUILDING ENTRIES & INTERFACE
6. STREET FURNITURE
 - 2 X BENCH SEAT WITH BACK AND ARM RESTS

PLANTING

7. NATIVE PLANTING SPECIES TO REFLECT CITY OF VINCENT RECOMMENDATIONS



1:200@A3

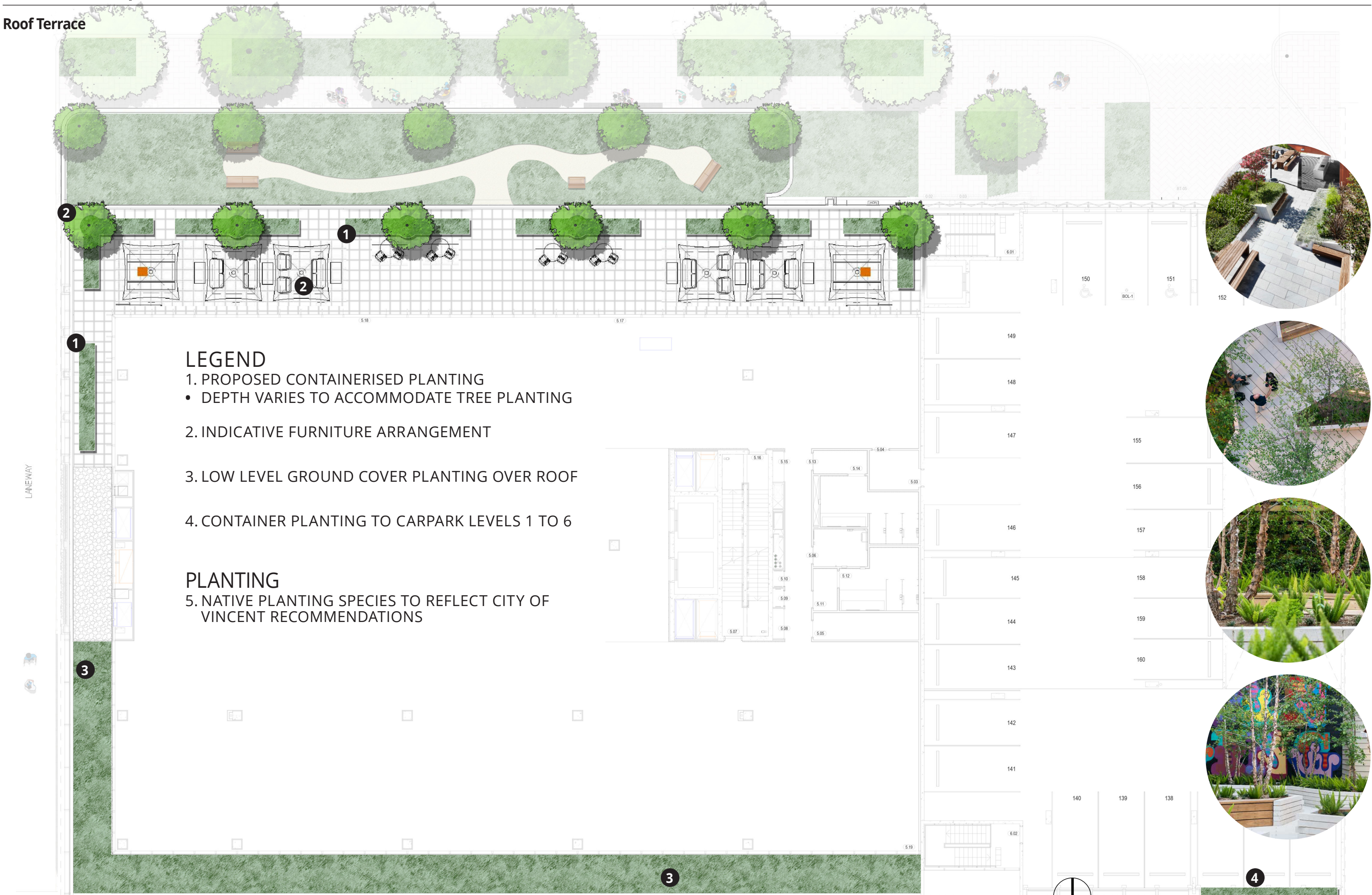
4.0 Landscape Plans & Elevations

First Floor



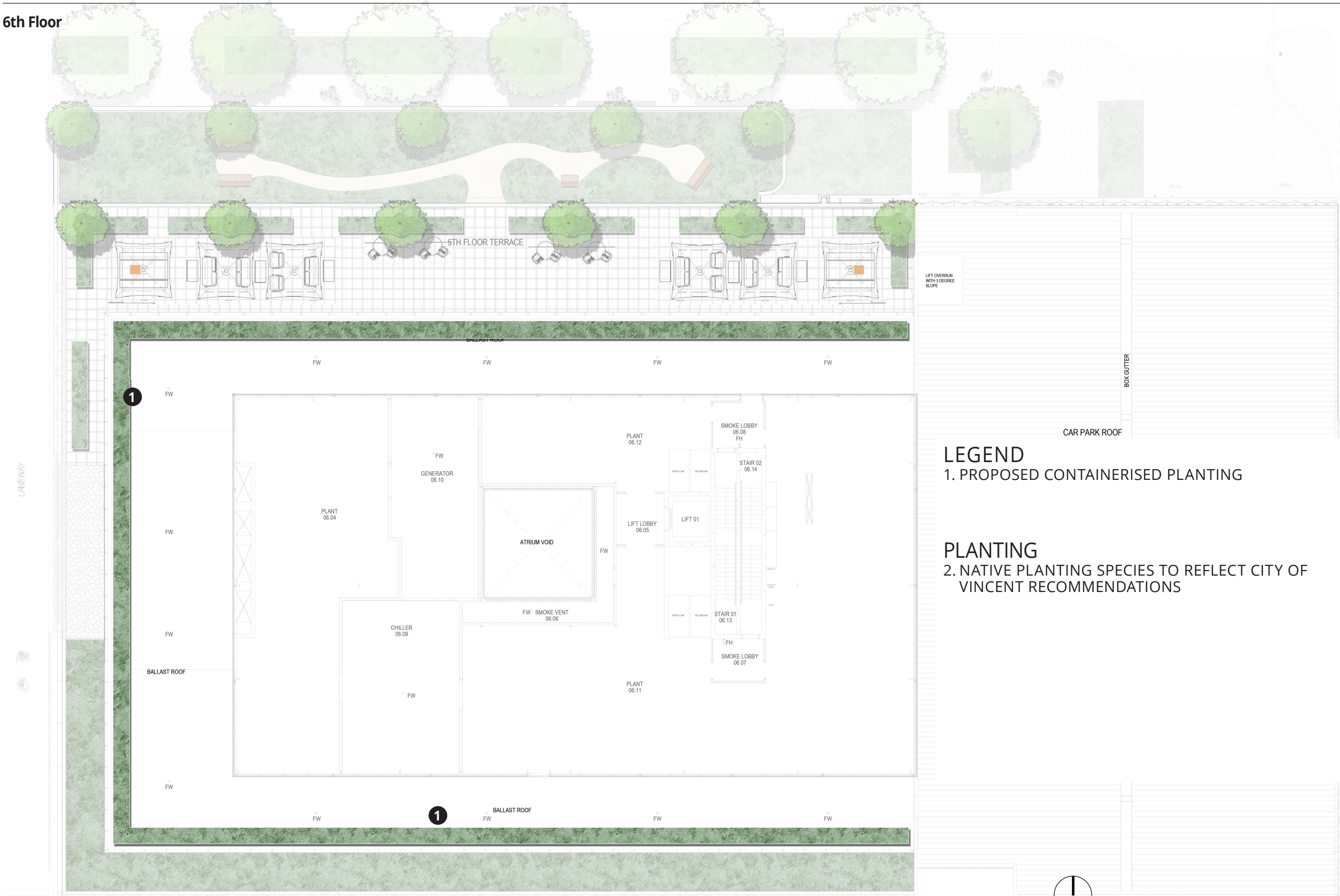
4.0 Landscape Plans & Elevations

Roof Terrace



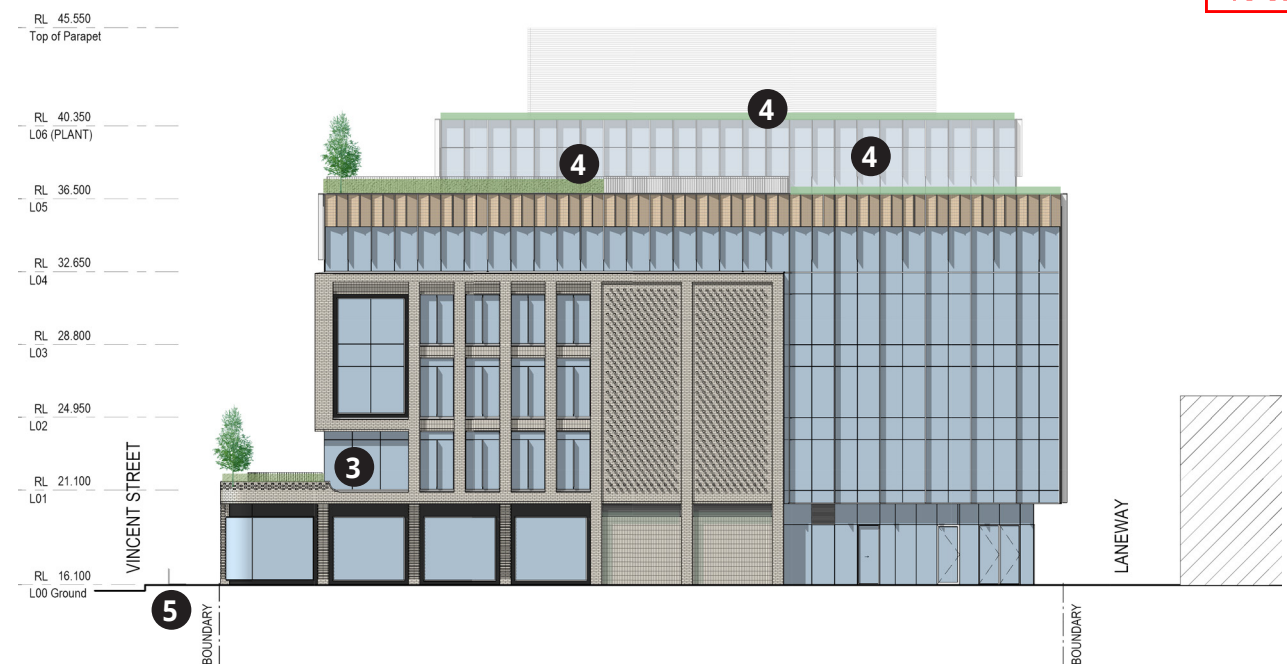
4.0 Landscape Plans & Elevations

6th Floor



4.0 Landscape Plans & Elevations

- LEGEND
- 1. BIKE RACKS - 12 BAYS
 - 2. STREET FURNITURE
 - 3. FIRST FLOOR TERRACE PLANTING
 - 4. FIFTH FLOOR TERRACE AND SIXTH FLOOR ROOF PLANTING
 - 5. VERGE PLANTING AND STREET TREES
 - 6. PLANTERS TO CARPARK FACADE



North Elevation
1:200 @ A3



South Elevation
1:200 @ A3

5.0 Landscape Planting Palettes

Indicative Planting Palette

Plant species list has been sourced from the recommendations outlined by the Water Corporation list of water-wise plants in consultation with the City of Vincent

Vincent Street Frontage



Anigozanthos 'Gold Velvet'



Westringia flat n fruity



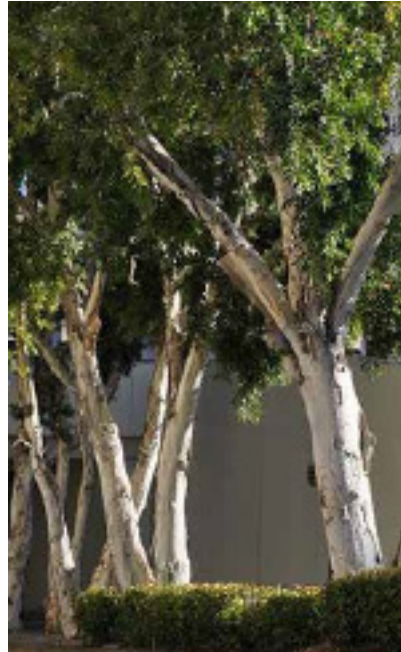
Myoporum parvifolium



Cycas revoluta



Zamia furfuracea



Melaleuca quinquenervia



Acacia lasiocarpa prostrate

Level 1 & 5 Planting



Anigozanthos 'Gold Velvet'



Acacia cognata 'Waterfall'



Myoporum parvifolium



Rosmarinus officinalis



Hibbertia scandens



Ficus benjamina



Cycas revoluta



Zamia furfuracea



Acacia lasiocarpa prostrate



CITY OF VINCENT

ATTACHMENT 6

DEVELOPMENT ASSESSMENT PANEL MEETING

DRP Minutes

DESIGN REVIEW PANEL

Wednesday 11 December 2019 at 3.30pm

Venue: Function Room
City of Vincent
Administration and Civic Centre
244 Vincent Street Leederville

Attendees:

Design Review Panel Members

James Christou (Chairperson)
Ailsa Blackwood
Sid Thoo
Simon Venturi

City of Vincent Officers

Jay Naidoo (Manager Development & Design)
Joslin Colli (Coordinator Planning Services)
Mitch Hoad (Senior Urban Planner)
Kate Miller (Senior Urban Planner)
Dan McCluggage (Urban Planner)

Applicant – Item 3.1

REDACTED FOR PRIVACY PURPOSES

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1. Welcome/Declaration of Opening

The Chairperson, James Christou declared the meeting open at 4.00pm

2. Apologies

3. Business

4.00pm–4.30pm – Applicant's Presentation – DA Lodged 5.2019.405.1

3.1 **Address:** No. 742 Newcastle Street and No. 301 Vincent Street, Leederville

Proposal: Amendment to Commercial Development

Applicant: Element / FJM

Reason for Referral: To consider the amendments proposed to the approved development.

| Design review comments from 11 December 2019 | | |
|--|--|--|
| Design quality evaluation | | |
| | | Supported |
| | | Pending further attention |
| | | Not supported |
| Design Principles | | |
| Principle 1 - Context and character | | <u>Principle</u> <i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i> |
| | | <ul style="list-style-type: none">No comment provided |
| Principle 2 - Landscape quality | | <u>Principle</u> <i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i> |
| | | <ul style="list-style-type: none">Verge planting scenario is generous and adds amenity to the streetscape.Fundamentally would need to match the amount of landscaping on site which was previously approved.Additional planters of a removable nature could assist with maintenance areas.More flexible landscaping to be considered on the first floor terrace.Considering species which match the colour of the existing verge trees would provide continuity.Consider rock spaces/informal crossing spaces within the verge planting to provide more activation.Provide continuity between the ground floor planting and how these could attract and retain people.Planting sections on the ground floor to robust and resilient species.Consider opportunities to wrap landscaping around the north-western corner of the first floor terrace.Additional landscaping would provide amenity and reduce heat island. Opportunity to extend the landscaping onto the roof should be considered.The Western laneway urban response is supported.The southern façade feels quite hard and backs on to a soft environment. Look at window planters or other ways to incorporate landscaping that would assist in softening the extent of glazing and relate to the tree on The Garden site.Original proposal approved on a certain amount of landscaping which was less than the requirement and is now being peeled back.Lack of landscaping on site is pulling away other amenities that would typically be provided. |
| Principle 3 - Built form and scale | | <u>Principle</u> <i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i> |
| | | <ul style="list-style-type: none">Northern podium is supported but will require shading structure |

| | |
|---|--|
| Principle 4 - Functionality and build quality | Principle <i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</i> |
| | <ul style="list-style-type: none"> Consider opportunity for a pedestrian awning to be provided along Vincent Street. North facing terrace without any shading could make this area unusable in summer and winter. Noted that if this were to be provided, a further development application would be required further to the current application |
| Principle 5 - Sustainability | Principle <i>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.</i> |
| | <ul style="list-style-type: none"> Additional shading structure along the north would assist |
| Principle 6 - Amenity | Principle <i>Good design optimises internal and external amenity for occupants, visitors and neighbours, providing environments that are comfortable, productive and healthy.</i> |
| | <ul style="list-style-type: none"> Western laneway urban response supported. In principle the inclusion of additional public art is supported and would contribute additional amenity. |
| Principle 7 - Legibility | Principle <i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around.</i> |
| | <ul style="list-style-type: none"> No comment provided |
| Principle 8 - Safety | Principle <i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i> |
| | <ul style="list-style-type: none"> No comment provided |
| Principle 9 - Community | Principle <i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i> |
| | <ul style="list-style-type: none"> No comment provided |
| Principle 10 - Aesthetics | Principle <i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i> |
| | <ul style="list-style-type: none"> Public art is strong but may have limited engagement during the day. If providing public art on the rear this should be engaging and active. Public art could be more effective if concentrated into particular areas rather than extended around the building. Form and colour of artwork around the southern elevation could be reflective of landscaping |
| Other comments provided by the DRP | |
| <ul style="list-style-type: none"> The landscaping has been reduced each time the proposal has been presented to the DRP. Opportunities for this can be returned to the development need to be explored. The extension to the ground floor to have a nil setback to Vincent Street is supported with respect to the built form outcome. . | |
| Other general comments provided by the City | |

- The City has concerns with the extent of the reduction of on-structure landscaping in light of the removal of the deep soil along Vincent Street. The proposal presently does not appear to be consistent with the local housing objectives with respect to landscaping under the Built Form Policy.

Conclusion To be returned to DRP

4.30pm–5.00pm – Applicant Presentation – PreLodgement

REDACTED FOR PRIVACY PURPOSES

- Application to be formally lodged. The application will then be referred to DRP to consider any further changes.

4. Close/Next Meeting

The Chairperson closed the meeting at 6.00pm

The next meeting is scheduled to be held on Wednesday 15 January 2019



CITY OF VINCENT

ATTACHMENT 7

DEVELOPMENT ASSESSMENT PANEL MEETING

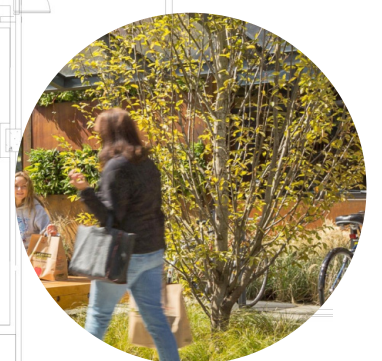
Previous Landscaping Report Submitted with Form 1 Application

4.0 Landscape Plans & Elevations

Ground Floor



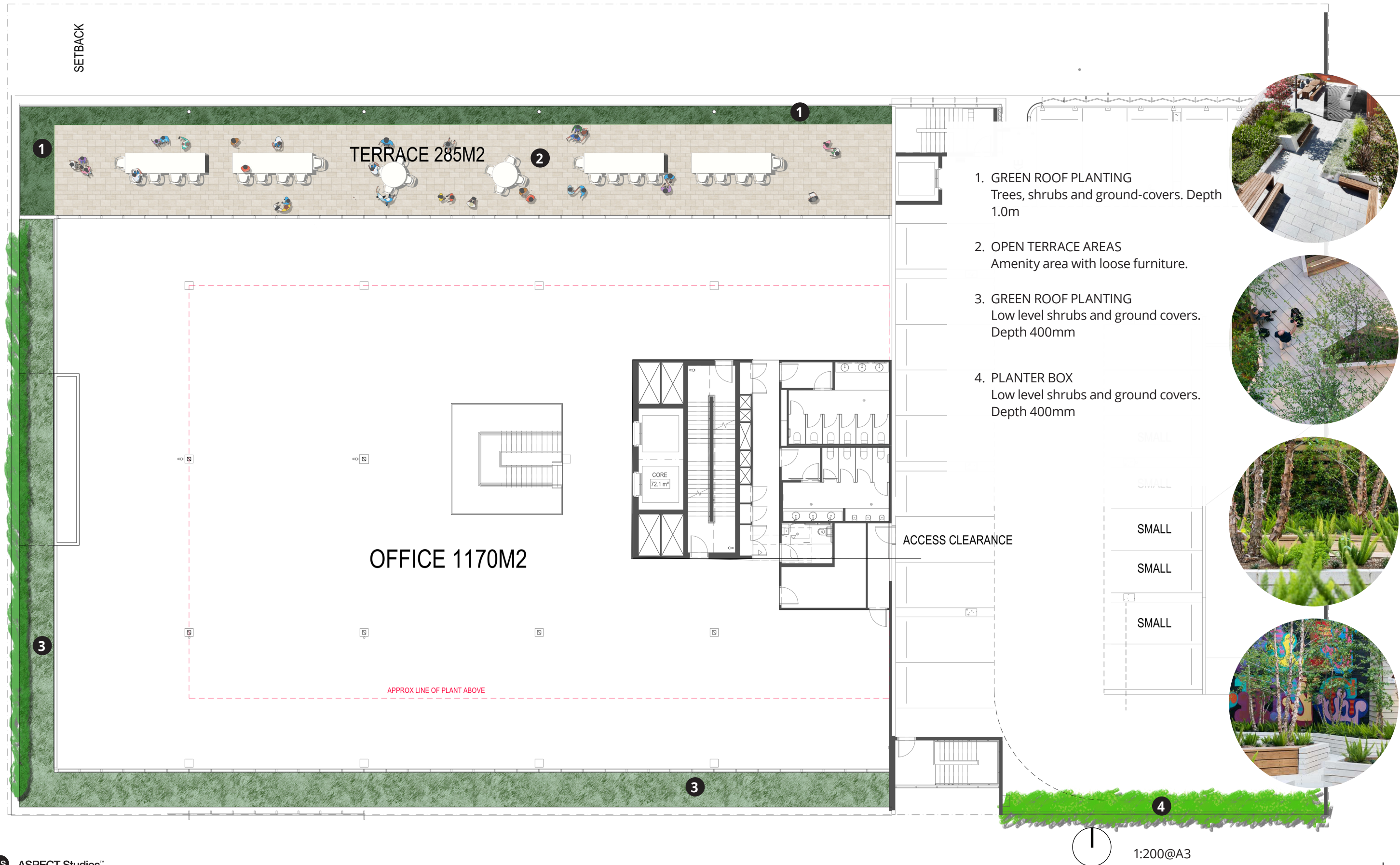
1. PAVING TO BUILDING INTERFACE AND ENTRIES
2. EXISTING STREET TREES
3. RELOCATED TRANSPLANT TREE
Removed from in front of carpark entrance and repositioned
4. LOW LEVEL PLANTING / DEEP SOIL ZONE
5. PLANTING & SMALL TREES / DEEP SOIL ZONE
6. EXISTING FOOTPATH PAVING



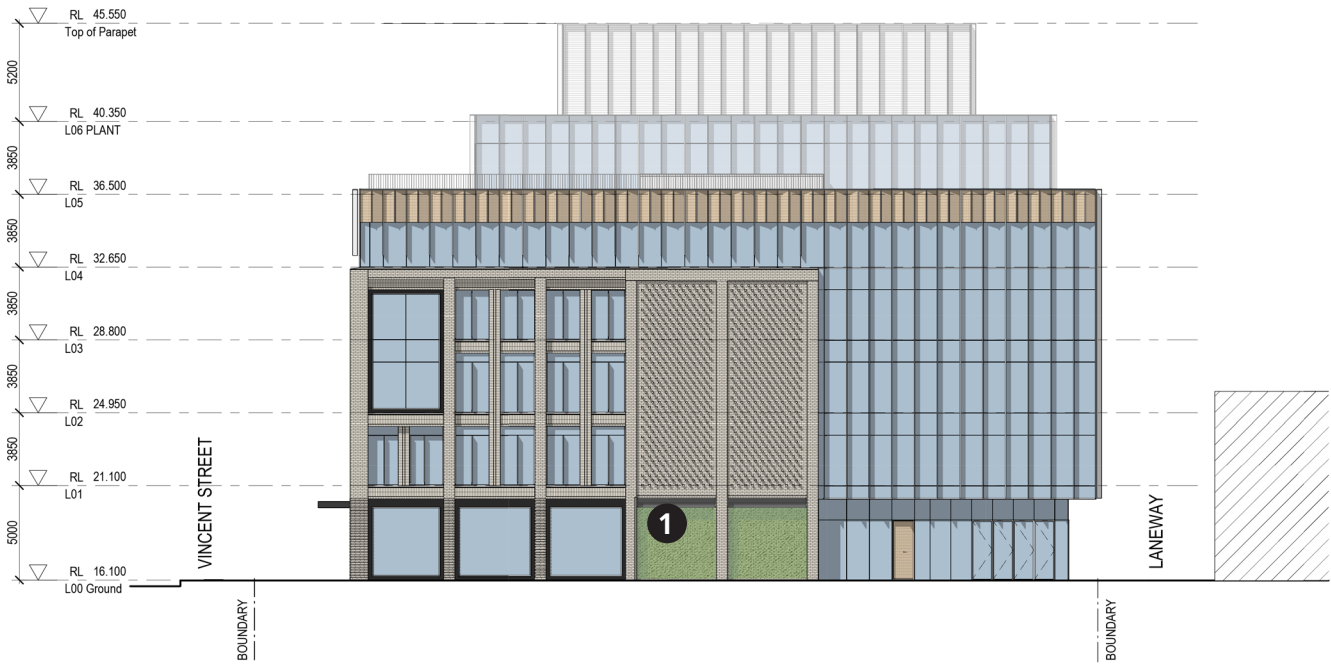
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4.0 Landscape Plans & Elevations

Roof Terrace BOUNDARY

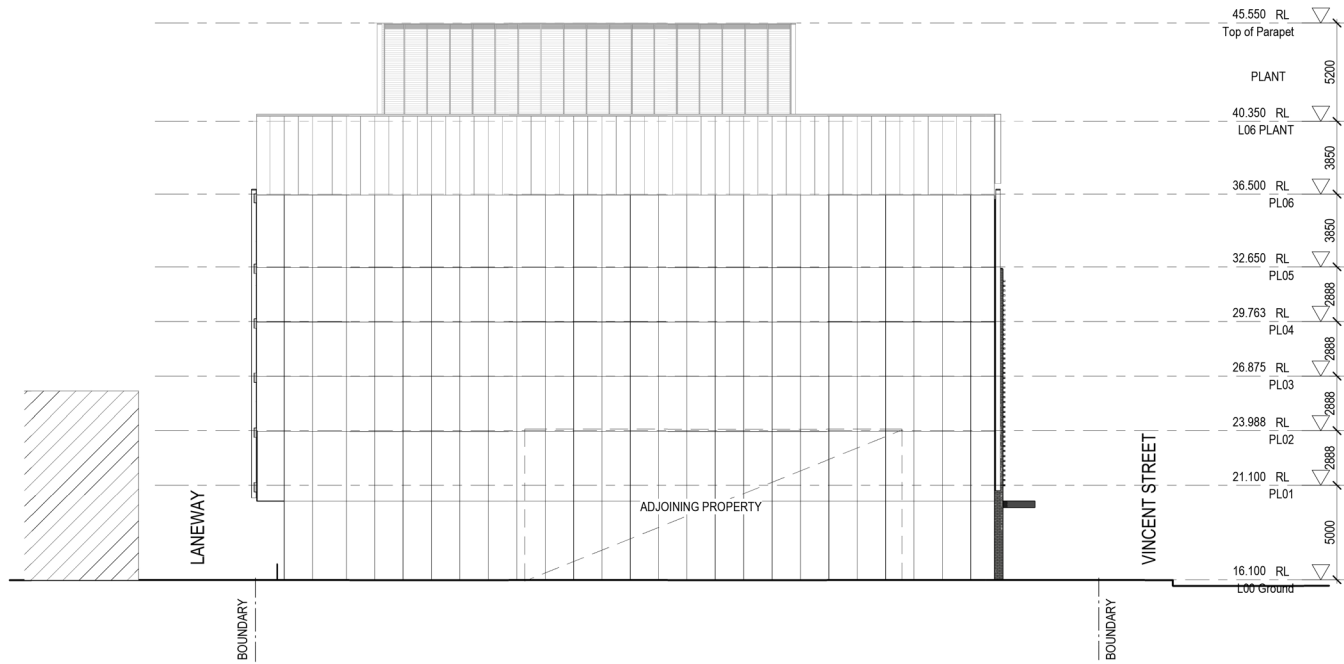


4.0 Landscape Plans & Elevations



1. GREEN WALL

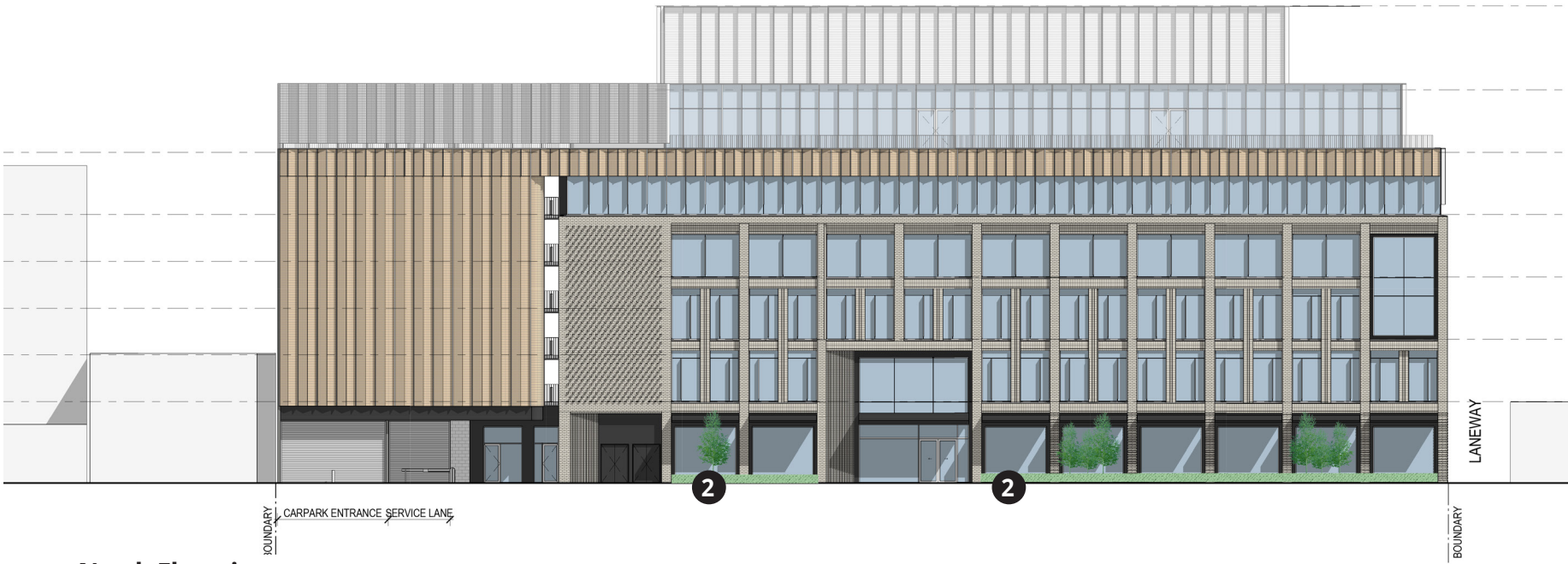
West Elevation



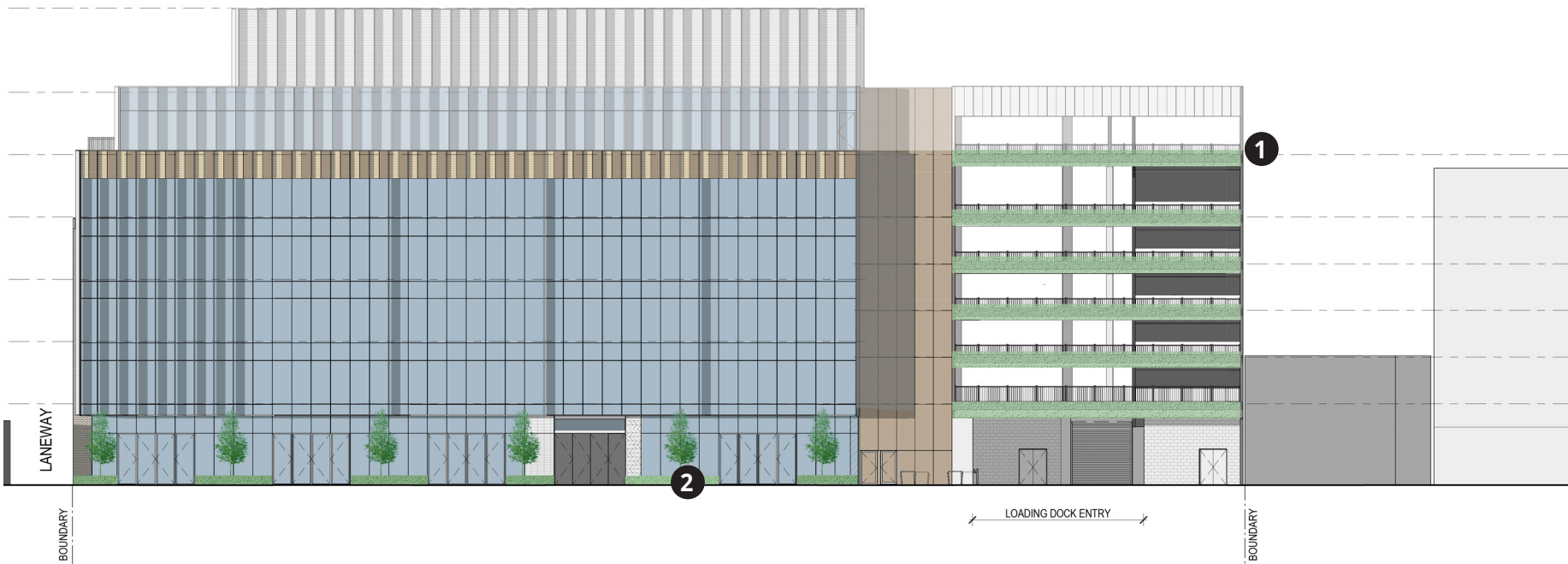
East Elevation



4.0 Landscape Plans & Elevations



North Elevation



South Elevation

- 1. LOW LEVEL PLANTING IN PLANTER BOX ON SLAB
- 2. LOW LEVEL PLANTING AND TREES / DEEP SOIL ZONE

